

A MARKET FEASIBILITY STUDY OF:
WHITEFIELD
COMMONS

A MARKET FEASIBILITY STUDY OF:

WHITEFIELD COMMONS

106 North Thomas Street
Arlington, Arlington County, Virginia 22203

Effective Date: January 27, 2020
Report Date: March 5, 2020

Prepared for:
Hiram Brown
Senior Project Manager
Wesley Housing Development Corporation
5515 Cherokee Avenue, Suite 200
Alexandria, VA 22312

Prepared by:
Novogradac Consulting LLP
4416 East-West Highway, Suite 200
Bethesda, MD 20814
240-235-1701





March 5, 2020

Hiram Brown
Senior Project Manager
Wesley Housing Development Corporation
5515 Cherokee Avenue, Suite 200
Alexandria, VA 22312

Re: Market Study - Application for Whitefield Commons, located in Arlington, Arlington County, Virginia

Dear Mr. Brown:

At your request, Novogradac Consulting LLP has performed a study of the multifamily rental market in the Arlington, Arlington County, Virginia area relative to the above-referenced Low-Income Housing Tax Credit (LIHTC) project. We performed an appraisal on the Subject in August 2019 and are concurrently completing an appraisal on the Subject. We have not performed any other services in the past three years for the Subject property.

The purpose of this market study is to assess the viability of the existing 63-unit LIHTC development. It will be a newly renovated property that will be financed under the Low Income Housing Tax Credit (LIHTC) program. The Subject was built in 1944 and renovated with LIHTC equity in 2005. The Subject currently offers 63 units restricted at 50 and 60 percent AMI. Existing space will be reconfigured during renovations to add five units that will bring the total number of units to 68, one of which will be market rate and the remainder of which will be LIHTC restricted at 50 and 60 percent AMI. The following report provides support for the findings of the study and outlines the sources of information and the methodologies used to arrive at these conclusions.

The scope of this report meets the requirements of Virginia Housing Development Authority, including the following:

- Inspecting the site of the proposed Subject, and its general location.
- Analyzing the appropriateness of the proposed unit mix, rent levels, unit and complex amenities, and site.
- Estimating the market rents, absorption rates and stabilized occupancy levels for the market area.
- Investigating the general economic health and conditions of the multifamily rental market.
- Calculating income bands, given the proposed Subject rents.
- Estimating the number of income-eligible households.
- Reviewing relevant public records and contacting appropriate public agencies.
- Analyzing the economic and social conditions in the market area, in relation to the proposed project.
- Establishing the Subject's Primary and Secondary Market Area(s), if applicable.
- Surveying competing projects, both LIHTC and market-rate.

Novogradac Consulting LLP adheres to the market study guidelines promulgated by the National Council of Housing Market Analysts (NCHMA). The NCHMA certification and checklist can be found in the Addenda of this report. Please refer to the checklist to find the sections in which content is located.

This report contains, to the fullest extent possible and practical, explanations of the data, reasoning, and analyses that were used to develop the opinions contained herein. The depth of discussion contained in the report is specific to the needs of the client.

MR. HIRAM BROWN
WESLEY HOUSING DEVELOPMENT CORPORATION
MARCH 5, 2020
PAGE 2

Wesley Housing Development Corporation is the client in this engagement and intended user of this report. Virginia Housing Development Authority is an authorized user and may rely on the representations made therein. As our client, Wesley Housing Development Corporation owns this report and permission must be granted from them before another third party can use this document. We assume that by reading this report another third party has accepted the terms of the original engagement letter including scope of work and limitations of liability. We are prepared to modify this document to meet any specific needs of the potential uses under a separate agreement.

The Stated Purpose of this assignment is for application. You agree not to use the Report other than for the Stated Purpose, and you agree to indemnify us for any claims, damages or losses that we may incur as the result of your use of the Report for other than the Stated Purpose. Without limiting the general applicability of this paragraph, under no circumstances may the Report be used in advertisements, solicitations and/or any form of securities offering.

The authors of this report certify that we are not part of the development team, owner of the Subject property, general contractor, nor are we affiliated with any member of the development team engaged in the development of the Subject property or the development's partners or intended partners. Please do not hesitate to contact us if there are any questions regarding the report or if Novogradac Consulting LLP can be of further assistance. It has been our pleasure to assist you with this project.

Respectfully submitted,
Novogradac Consulting LLP



David Boisture, AM, CRE
LEED Green Associate
Partner
240-235-1710
David.Boisture@novoco.com



H. Blair Kincer, MAI, CRE
LEED Green Associate
Partner
240-235-1704
Blair.Kincer@novoco.com



Kelly Gorman
Principal
732-623-7005
Kelly.Gorman@novoco.com



Lauren Migliore
Senior Analyst
732-623-7015
Lauren.Migliore@novoco.com

TABLE OF CONTENTS

A. Executive Summary	1
B. Introduction and Scope of Work	8
C. Project Description.....	11
D. Location	18
Photographs of Subject and Neighborhood	26
E. Market Area Definition	31
Market Area	32
F. Employment and Economy.....	34
Economic Analysis.....	35
G. Demographic Characteristics	43
H. Competitive Environment	52
Housing Summary.....	53
Survey of Comparable Properties	57
Market Characteristics.....	66
I. Affordability Analysis, Demand Analysis, Capture Rates and Penetration Rates	74
Capture Rate Analysis by Unit Type.....	79
Annual Capture Rate Analysis	85
VHDA Demand Analysis	87
Penetration Rate Analysis.....	89
J. Local Perspectives of Rental Housing Market and Housing Alternatives	92
Interviews.....	93
K. Analysis/Conclusions.....	95
L. Other Requirements	98

Addendum A

Addendum B

Addendum C

Addendum D

Addendum E

Addendum F

Addendum G

A. EXECUTIVE SUMMARY

EXECUTIVE SUMMARY

Subject Site Description: The Subject site is located at 106 North Thomas Road in Arlington, Arlington County, Virginia 22203.

Surrounding Land Uses: The Subject is located south of downtown Arlington in the Buckingham neighborhood. The Subject is located in a mixed-use neighborhood consisting of multifamily properties in average to good condition, and retail, commercial, and institutional uses. Land use to the north of the Subject consists of residential uses including Knightsbridge Apartments in average condition, which has been excluded as a comparable property due to Section 8 subsidized rents. Note that the Subject shares management with Knightsbridge Apartments. Further north is the mixed LIHTC and market rate property Gates of Ballston in average condition, which has been excluded as a comparable property because we were unable to contact them in person and via phone calls, and the mixed LIHTC and market rate property Historic Ballston Park Apartments in average condition, which has been included as a comparable property. Further north of the Subject are neighborhood amenities such as a post office, grocery store, and pharmacy. Land use to the west of the Subject site includes a pre-school, Chatham Condominium in average condition, a hotel, and townhouses in good condition. Also west of the Subject is the mixed LIHTC and market rate property The Madison at Ballston Station in good condition and the LIHTC property Buckingham Village Apartments in average condition. Both of these properties were excluded from our analysis since we were unable to contact management in person and via phone calls. Directly west of the Subject site are single-family homes that, at the time of our inspection, were being demolished to make way for owner-occupied townhome condominiums. Once complete, there will be 19 townhomes that the developer reported are anticipated to sell between the high \$900,000 and low \$1,000,000 range. Land use to the south of the Subject includes a vacant American Red Cross building that is proposed for a new construction LIHTC property, The Cadence, that will be developed at the same time as the Subject's renovations. Further south, past Arlington Boulevard, are institutional uses including the National Guard Bureau and the Foreign Service Institute (FSI). Land use to the east of the Subject is a house of worship and private religious school. Further east are retail uses and restaurants. Overall, the site is in a good location for a multifamily development.

Subject Property Description: The Subject is an existing 63-unit LIHTC development. The Subject consists of four three-story garden-style buildings. The Subject was built in 1944 and renovated with LIHTC equity in 2005. The Subject currently exhibits average condition. The Subject is proposed to be renovated under the Low Income Housing Tax Credit (LIHTC) program. The Subject currently offers 63 units restricted at 50 and 60 percent AMI. The on-site management office and existing spaces will be converted to add five apartments that will bring the total number of

units to 68, one of which will be market rate and the remainder of which will be LIHTC. The Subject’s management will operate out of the neighboring new construction LIHTC property, The Cadence, that will be developed at the same time as the Subject’s renovations. Post-renovation, the Subject will offer 67 units restricted at 50 and 60 percent AMI and one market rate unit. We expect the Subject to be in good condition post-renovation.

Current and Proposed Rents:

The Subject currently operates as a LIHTC development with income restrictions at 50 and 60 percent of AMI. As of the rent roll dated January 3, 2020, the Subject has two vacant units, which equates to a vacancy rate of 3.2 percent. According to historical financials, the Subject had a vacancy rate of 1.6 percent in 2016, 0.3 percent in 2017, 0.6 percent in 2018, and 1.3 percent in 2019. The following tables illustrate the Subject’s current and proposed rents. The majority of the developer’s proposed rents are expected to increase post-renovation. The largest increase is among the three-bedroom unit at 60 percent AMI. Note that this represents only one unit.

CURRENT RENTS

Unit Type	Asking Rent	Minimum Tenant Paid Rent*	Maximum Tenant Paid Rent*	Average Tenant Paid Rent*
@50%				
1BR / 1BA	\$1,069	\$968	\$1,069	\$1,026
2BR / 1.5BA	\$1,274	\$1,231	\$1,296	\$1,246
3BR / 2BA	\$1,465	\$1,458	\$1,458	\$1,458
@60%				
1BR / 1BA	\$1,296	\$1,153	\$1,274	\$1,246
2BR / 1.5BA	\$1,547	\$1,409	\$1,547	\$1,493
3BR / 2BA	\$1,781	\$1,600	\$1,600	\$1,600

Source: Rent roll dated 1/3/2020

*Excludes tenants using Housing Choice Vouchers

PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2019 LIHTC Maximum Allowable Gross Rent	2019 HUD Fair Market Rents	
@50%								
1BR / 1BA	735	17	\$1,058	\$69	\$1,127	\$1,138	\$1,454	
2BR / 1.5BA	860	16	\$1,264	\$91	\$1,355	\$1,365	\$1,665	
3BR / 2BA	975	1	\$1,452	\$112	\$1,564	\$1,577	\$2,176	
@60%								
1BR / 1BA	735	13	\$1,286	\$69	\$1,355	\$1,365	\$1,454	
2BR / 1.5BA	860	19	\$1,537	\$91	\$1,628	\$1,638	\$1,665	
3BR / 2BA	975	1	\$1,771	\$112	\$1,883	\$1,893	\$2,176	
Market								
2BR / 1.5BA	860	1	\$1,638	N/A	N/A	N/A	\$1,665	
		68						

Notes (1) Source of Utility Allowance provided by the Developer.

CURRENT AND PROPOSED RENT COMPARISON*

Unit Type	Average Tenant Paid Rent**	Proposed Asking Rent	Proposed Change in Rents
@50%			
1BR / 1BA	\$1,026	\$1,058	\$32
2BR / 1.5BA	\$1,246	\$1,264	\$18
3BR / 2BA	\$1,458	\$1,452	-\$6
@60%			
1BR / 1BA	\$1,246	\$1,286	\$40
2BR / 1.5BA	\$1,493	\$1,537	\$44
3BR / 2BA	\$1,600	\$1,771	\$171

*Excludes the one market rate unit that will be added during renovations

**Excludes tenants using Housing Choice Vouchers

Proposed Renovations:

The currently anticipated preliminary scope of work includes but is not limited to landscaping, stormwater management, concrete repair, grading to improve drainage, repave parking lot, pave new areas for parking, install new railings, install stainless steel backsplashes, replace all cabinets and countertops, replace windows, replace doors, replace flooring with LVT flooring, replace appliances with new energy efficient appliances, install new garbage disposals, replace plumbing fixtures, replace bathroom vanities, remove carpeting, repair subflooring, replace exterior wood trim, replace or replace roofing as needed, install insulation, install waterproofing system, paint, install new signage and mailboxes, replace blinds, refigure 10 units for accessibility, replace washer/dryers in laundry room, convert storage room to bicycle storage for tenants, replace bathtubs, install new HVAC systems, install exhaust system, replace outlets and electrical devices, install new lighting, provide fire alarm system, replace video surveillance system, and install infrastructure for high speed internet. Garbage disposals will be added as an amenity. The on-site management office and existing spaces will be converted to add five apartments. Total hard costs will be \$10,023,200, or \$147,400 per unit.

Target Household Income Levels:

Based on the proposed restrictions, the range of annual household income levels is depicted below.

FAMILY INCOME LIMITS

Unit Type	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income
	@50%		@60%		<i>Market</i>	
1BR	\$38,640	\$48,550	\$46,457	\$58,260	-	-
2BR	\$46,457	\$54,600	\$55,817	\$65,520	\$56,160	\$131,040
3BR	\$53,623	\$65,550	\$64,560	\$78,660	-	-

Economic Conditions

Employment in the PMA is concentrated in the prof/scientific/tech services, public administration, and other services industries, which collectively comprise 48 percent of local employment. The large share of PMA employment in the public administration industry is notable as this industry is historically stable, and exhibits greater resilience during economic downturns. This was evident during the recession, when total employment in the MSA fell by only 1.8 percent, compared to a 4.8 percent decline across the overall nation. Employment in the MSA recovered and surpassed pre-recessionary levels in 2010, four years prior to the overall nation. As of October 2019, total employment in the MSA is at a post-recessionary record and increasing at an annualized rate of 3.2 percent, compared to 1.3 percent across the overall nation. Overall, the local economy appears to be in an expansionary phase.

Primary Market Area

The PMA comprises a 7.0 square mile area and is roughly defined as Interstate 66 and Washington Boulevard to the north, South Washington Boulevard to the east, Columbia Pike to the south, and Leesburg Pike to the west. This area is defined based on interviews with the local housing authority, conversations with surveyed property managers, as well as a 10 minute drive time zone. We anticipate a 10 percent leakage from outside the Subject's PMA.

The Washington-Arlington-Alexandria, DC-VA-MD-WV Metropolitan Statistical Area (MSA) will serve as the Secondary Market Area (SMA). The MSA consists of Frederick, Montgomery, Calvert, Charles and Prince George's Counties in Maryland; Washington, DC; Arlington, Clarke, Culpeper, Fairfax, Fauquier, Loudoun, Prince William, Rappahannock, Spotsylvania, Stafford and Warren Counties in Virginia; Jefferson County in West Virginia; and the independent cities of Alexandria, Fairfax, Falls Church, Fredericksburg, Manassas and Manassas Park in Virginia.

Demographic Data

The population in the PMA increased by 14.3 percent between 2000 and 2019, compared to the 28.6 percent increase in the regional MSA and 18.2 percent increase across the overall nation. The percentage of renter households in the PMA remained relatively stable between 2000 and 2019, and is estimated to be 60.8 percent as of 2019. This is more than the estimated 33 percent of renter households across the overall nation. As of 2019, the median income in the PMA is similar to the surrounding MSA. Median household income growth in the PMA exceeded the MSA between 2000 and 2019. Income growth in both geographic areas exceeded the overall nation during this time period. In particular, median income in the PMA rose from 71 percent of the national median income in 2000 to 170 percent in 2019. Overall, the combination of rising population and household income levels bodes well for future demand for multifamily housing.

Vacancy

The following table summarizes overall weighted vacancy levels at the surveyed properties.

OVERALL VACANCY

Property Name	Rent Structure	Total Units	Vacant Units	Vacancy Rate
Arlington Mill Residences	LIHTC/ Section 8	122	0	0.0%
Buchanan Gardens	LIHTC	111	0	0.0%
Historic Ballston Park Apartments	LIHTC/ Market	512	0	0.0%
The Jordan	LIHTC	90	0	0.0%
The Springs Apartments	LIHTC/ Market	104	0	0.0%
Birchwood Apartments	Market	97	0	0.0%
Henderson Park	Market	66	1	1.5%
Oakland Apartments	Market	245	0	0.0%
Quinton Arms Apartments	Market	45	0	0.0%
The Maxwell	Market	163	1	0.6%
Thomas Court	Market	49	0	0.0%
Total LIHTC		939	0	0.0%
Total Market Rate		665	2	0.3%
Overall Total		1,604	2	0.1%

The overall vacancy rate among the surveyed comparables is low at 0.1 percent. Only two of the comparable properties reported any vacancies in their units, both of which are market rate. As of the rent roll dated January 3, 2019, the Subject had two vacant units, which equates to a vacancy rate of 3.2 percent. According to historical financials, the Subject had a vacancy rate of 1.6 percent in 2016, 0.3 percent in 2017, 0.6 percent in 2018, and 1.3 percent in 2019 (not including collection loss). Given the reported low vacancy rates in the market, we expect the Subject to operate with a vacancy rate of five percent or less.

The following table details vacancy by bedroom type for the comparable properties surveyed:

VACANCY BY BEDROOM TYPE

Property Name	Rent Structure	OBR	1BR	2BR	3BR	Overall
Arlington Mill Residences	LIHTC/ Section 8	0.0%	0.0%	0.0%	0.0%	0.0%
Buchanan Gardens	LIHTC	-	0.0%	0.0%	0.0%	0.0%
Historic Ballston Park Apartments	LIHTC/ Market	-	-	-	0.0%	0.0%
The Jordan	LIHTC	-	0.0%	0.0%	0.0%	0.0%
The Springs Apartments	LIHTC/ Market	0.0%	0.0%	0.0%	0.0%	0.0%
Birchwood Apartments	Market	-	0.0%	0.0%	0.0%	0.0%
Henderson Park	Market	-	0.0%	0.0%	2.6%	1.5%
Oakland Apartments*	Market	0.0%	0.0%	0.0%	0.0%	0.0%
Quinton Arms Apartments	Market	0.0%	0.0%	0.0%	-	0.0%
The Maxwell	Market	0.0%	0.0%	4.8%	-	0.6%
Thomas Court	Market	-	0.0%	0.0%	0.0%	0.0%

The Subject consists of one, two and three-bedroom units. Overall, the vacancy rates in the market are low. This supports that there is demand for additional rental housing in the market. Given the strong local household growth rates, we believe the Subject will not negatively impact the existing properties in the market.

Absorption

We were able to obtain absorption information from four of the recently constructed comparable properties. We included additional properties in the area that could provide absorption information. The following table details our findings.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
St. James Plaza	LIHTC	Family	2018	93	18
The Springs Apartments*	LIHTC, Market	Family	2016	104	46
The Shell	LIHTC	Family	2015	83	28
The View At Liberty Center	Market	Family	2014	257	21
The Maxwell*	Market	Family	2014	163	30
Arlington Mill Residences*	LIHTC, Section 8	Family	2014	122	61
Sedona	Market	Family	2013	271	20
Macedonia Apartments	LIHTC	Family	2012	36	36
2201 Pershing	Market	Family	2012	188	32
The Jordan*	LIHTC	Family	2011	90	30

*Used as a comparable property

The LIHTC/mixed-income comparables illustrate absorption rates ranging from 18 to 61 units per month. The market rate properties experienced lower rates of 20 to 32 units per month. We estimate the Subject will experience an absorption rate of 30 units per month, indicating an absorption period of approximately three months.

Demand

The Novoco demand analysis illustrates demand for the Subject based on capture rates of income-eligible renter households. When viewing total income-eligible renter households, the calculation for the LIHTC units is 0.6 percent as proposed.

To provide another level of analysis, we removed the households from the income-eligible renter demand pool that are currently suitably housed elsewhere in the PMA. We conducted an *annual demand analysis*, which is based on new income-eligible renter households moving into the area (in the Subject’s first year of operation only) and those income-eligible renter households that are rent-overburdened (paying over 35 percent of income to living costs). This is a subset of the income-eligible renter households used previously and yields a far more conservative annual capture rate. This annual Novoco capture rate is 1.5 percent for the first year of operation as a LIHTC property. This suggests that the Subject will need to capture only a fraction of the available demand in its first year of operation in order to stabilize. This implies that no demand will be accommodated that is currently suitably housed elsewhere.

This calculation illustrates that there are approximately 4,244 units of demand in the first year of the Subject’s operation. The Subject’s units will need to accommodate 65 total units of demand in order to stabilize at 95 percent occupancy. Any unaccommodated households will most likely leave the PMA or remain severely rent-overburdened. The lack of available units will force many to look elsewhere.

The VHDA net demand and capture rate table illustrates demand for the Subject based on capture rates of income-eligible renter households. The following table illustrates the conclusions from this table.

Project Wide Capture Rate- LIHTC Units	3.4%
Project Wide Capture Rate- Market Units	0.03%
Project Wide Capture Rate- All Units	1.7%
Project Wide Absorption Period (Months)	3 months

This is a low capture rate and indicative of ample demand for the Subject.

Strengths

- The Subject will be in good condition once renovated.
- None of the LIHTC/mixed-income comparables reported any vacancy in their LIHTC units and the market rate comparables reported low vacancy with a weighted average of 0.3 percent. According to historical financials, the Subject had a vacancy rate of 0.3 percent in 2017, 0.6 percent in 2018, and 1.5 percent in 2019.
- The majority of the LIHTC comparable properties reported extensive waiting lists.
- All of the LIHTC comparable properties reported achieving maximum allowable LIHTC rents.
- The Subject is located in close proximity to public transportation options, services, and amenities.
- The Subject has low capture rates and penetration rates, indicating that there is ample demand for affordable housing.

Weaknesses

- The Subject offers limited in-unit amenities and a low parking ratio when compared to the comparable properties. Garbage disposals will be added during renovations. We have considered the Subject's amenities and parking in our achievable rent determination.

Recommendations

In general, we believe there is demand in the marketplace for the Subject. We recommend no changes for the Subject property.

B. INTRODUCTION AND SCOPE OF WORK

INTRODUCTION AND SCOPE OF WORK

Report Description:	Novogradac Consulting LLP has performed a comprehensive market study of the multifamily rental market in the Arlington, Virginia area relative to Whitefield Commons, an existing LIHTC development. Whitefield Commons, the Subject, is an existing 63-unit LIHTC development. The Subject consists of four three-story garden-style buildings. The Subject was built in 1944 and renovated with LIHTC equity in 2005. The Subject currently exhibits average condition. The Subject is proposed to be renovated under the Low Income Housing Tax Credit (LIHTC) program. The Subject currently offers 63 units restricted at 50 and 60 percent AMI. The on-site management office and existing spaces will be converted to add five apartments that will bring the total number of units to 68, one of which will be market rate and the remainder of which will be LIHTC. The Subject's management will operate out of the neighboring new construction LIHTC property, The Cadence, that will be developed at the same time as the Subject's renovations. Post-renovation, the Subject will offer 67 units restricted at 50 and 60 percent AMI and one market rate unit. We expect the Subject to be in good condition post-renovation. We performed an appraisal on the Subject in August 2019 and are concurrently completing an appraisal on the Subject. We have not performed any other services in the past three years for the Subject property.
Developer/Client Information:	Wesley Housing Development Corporation.
Intended Use and Users of the Report:	The report will be submitted to the Virginia Housing Development Authority (VHDA) for application purposes. The intended user of the report is VHDA.
Scope of the Report:	<ul style="list-style-type: none">▪ Inspecting the site of the to-be-developed Subject and its general location.▪ Analyzing the appropriateness of the proposed unit mix, rent levels, unit and complex amenities, and site.▪ Estimating the market rents, absorption rates and stabilized vacancy levels for the market area.▪ Investigating the general economic health and conditions of the senior rental market.▪ Complete a by-bedroom capture rate analysis that analyzes the level of potential income eligible tenants in the primary market area.▪ Reviewing relevant public records and contacting appropriate public agencies.▪ Brief analysis of the economic and social conditions in the market area, in relation to the proposed project.▪ Establishing the Subject's Primary Market Area, if applicable.▪ Surveying competing projects, both LIHTC and market-rate.
Effective Date:	The Subject site was most recently inspected by Blair Kincer on January 27, 2020, which shall be the effective date of this report.

Primary Contact for the Report:

David Boisture, AM, CRE (David.Boisture@novoco.com) and Kelly Gorman (Kelly.Gorman@novoco.com; 732-623-7005).

C. PROJECT DESCRIPTION

PROJECT DESCRIPTION

The project description will discuss the physical features of the Subject property, as well as its current and proposed unit mix and rents.

Subject Property Description:

Whitefield Commons, the Subject, is an existing 63-unit LIHTC development. The Subject consists of four three-story garden-style buildings. The Subject was built in 1944 and renovated with LIHTC equity in 2005. The Subject currently exhibits average condition. The Subject is proposed to be renovated under the Low Income Housing Tax Credit (LIHTC) program. The Subject currently offers 63 units restricted at 50 and 60 percent AMI. The on-site management office and existing spaces will be converted to add five apartments that will bring the total number of units to 68, one of which will be market rate and the remainder of which will be LIHTC. The Subject's management will operate out of the neighboring new construction LIHTC property, The Cadence, that will be developed at the same time as the Subject's renovations. Post-renovation, the Subject will offer 67 units restricted at 50 and 60 percent AMI and one market rate unit. We expect the Subject to be in good condition post-renovation.

Construction Type:

The Subject is an existing LIHTC development to be renovated with funding under the LIHTC program.

Occupancy Type:

The Subject targets family households.

Current and Proposed Rents:

The Subject currently operates as a LIHTC development with income restrictions at 50 and 60 percent of AMI. As of the rent roll dated January 3, 2020, the Subject has two vacant units, which equates to a vacancy rate of 3.2 percent. According to historical financials, the Subject had a vacancy rate of 1.6 percent in 2016, 0.3 percent in 2017, 0.6 percent in 2018, and 1.3 percent in 2019. The following tables illustrate the Subject's current and proposed rents. The majority of the developer's proposed rents are expected to increase post-renovation. The largest increase is among the three-bedroom unit at 60 percent AMI. Note that this represents only one unit.

CURRENT RENTS

Unit Type	Asking Rent	Minimum Tenant Paid Rent*	Maximum Tenant Paid Rent*	Average Tenant Paid Rent*
@50%				
1BR / 1BA	\$1,069	\$968	\$1,069	\$1,026
2BR / 1.5BA	\$1,274	\$1,231	\$1,296	\$1,246
3BR / 2BA	\$1,465	\$1,458	\$1,458	\$1,458
@60%				
1BR / 1BA	\$1,296	\$1,153	\$1,274	\$1,246
2BR / 1.5BA	\$1,547	\$1,409	\$1,547	\$1,493
3BR / 2BA	\$1,781	\$1,600	\$1,600	\$1,600

Source: Rent roll dated 1/3/2020

*Excludes tenants using Housing Choice Vouchers

PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2019 LIHTC Maximum Allowable Gross Rent	2019 HUD Fair Market Rents	
@50%								
1BR / 1BA	735	17	\$1,058	\$69	\$1,127	\$1,138	\$1,454	
2BR / 1.5BA	860	16	\$1,264	\$91	\$1,355	\$1,365	\$1,665	
3BR / 2BA	975	1	\$1,452	\$112	\$1,564	\$1,577	\$2,176	
@60%								
1BR / 1BA	735	13	\$1,286	\$69	\$1,355	\$1,365	\$1,454	
2BR / 1.5BA	860	19	\$1,537	\$91	\$1,628	\$1,638	\$1,665	
3BR / 2BA	975	1	\$1,771	\$112	\$1,883	\$1,893	\$2,176	
Market								
2BR / 1.5BA	860	1	\$1,638	N/A	N/A	N/A	\$1,665	
		68						

Notes (1) Source of Utility Allowance provided by the Developer.

CURRENT AND PROPOSED RENT COMPARISON*

Unit Type	Average Tenant Paid Rent**	Proposed Asking Rent	Proposed Change in Rents
@50%			
1BR / 1BA	\$1,026	\$1,058	\$32
2BR / 1.5BA	\$1,246	\$1,264	\$18
3BR / 2BA	\$1,458	\$1,452	-\$6
@60%			
1BR / 1BA	\$1,246	\$1,286	\$40
2BR / 1.5BA	\$1,493	\$1,537	\$44
3BR / 2BA	\$1,600	\$1,771	\$171

*Excludes the one market rate unit that will be added during renovations

**Excludes tenants using Housing Choice Vouchers

Proposed Renovations:

The currently anticipated preliminary scope of work includes but is not limited to landscaping, stormwater management, concrete repair, grading to improve drainage, repave parking lot, pave new areas for parking, install new railings, install stainless steel backsplashes, replace all cabinets and countertops, replace windows, replace doors, replace flooring with LVT flooring, replace appliances with new energy efficient appliances, install new garbage disposals, replace plumbing fixtures, replace bathroom vanities, remove carpeting, repair subflooring, replace exterior wood trim, replace or replace roofing as needed, install insulation, install waterproofing system, paint, install new signage and mailboxes, replace blinds, refigure 10 units for accessibility, replace washer/dryers in laundry room, convert storage room to bicycle storage for tenants, replace bathtubs, install new HVAC systems, install exhaust system, replace outlets and electrical devices, install new lighting, provide fire alarm system, replace video surveillance system, and install infrastructure for high speed internet. Garbage

disposals will be added as an amenity. The on-site management office and existing spaces will be converted to add five apartments. Total hard costs will be \$10,023,200, or \$147,400 per unit.

Assisted Housing Program:

None of the units will operate with Project Based Rental Assistance.

Construction Date:

Construction on the Subject is expected to begin in summer 2020 and be completed in summer 2021.

Target Household Income Levels:

Based on the proposed restrictions, the range of annual household income levels is depicted below. The maximum allowable income for the Subject’s market rate units is based on 120 of the AMI.

FAMILY INCOME LIMITS

Unit Type	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income
	@50%		@60%		Market	
1BR	\$38,640	\$48,550	\$46,457	\$58,260	-	-
2BR	\$46,457	\$54,600	\$55,817	\$65,520	\$56,160	\$131,040
3BR	\$53,623	\$65,550	\$64,560	\$78,660	-	-

Utility Structure:

Tenants at the Subject are responsible for electric heat, electric cooking, electric water heating, central air conditioning, and general electric. The landlord pays for cold water, sewer, and trash expenses. The comparable properties’ utility structures are illustrated in the respective property summaries and are adjusted appropriately to account for differences relative to the Subject, based on the Virginia Housing Development Authority’s utility allowance, effective July 1, 2019.

HOUSING AUTHORITY UTILITY ALLOWANCE

UTILITY AND SOURCE	Paid By	1BR	2BR	3BR
Heating - Electric	Tenant	\$26	\$33	\$41
Cooking - Electric	Tenant	\$4	\$5	\$7
Other Electric	Tenant	\$15	\$20	\$24
Air Conditioning	Tenant	\$7	\$9	\$11
Water Heating - Electric	Tenant	\$13	\$17	\$21
Water	Landlord	\$22	\$29	\$35
Sewer	Landlord	\$27	\$35	\$43
Trash	Landlord	\$11	\$11	\$11
TOTAL - Paid By Landlord		\$60	\$75	\$89
TOTAL - Paid By Tenant		\$65	\$84	\$104
TOTAL - Paid By Tenant Provided by Developer		\$69	\$91	\$112
DIFFERENCE		106%	108%	108%

Source: Virginia Housing Development Authority, effective July 1, 2019

Unit Mix:

The following table illustrates the Subject’s unit mix and size:

UNIT MIX AND SQUARE FOOTAGE

Unit Type	Number of Units	Unit Size (SF)	Net Leasable Area
1BR / 1BA	30	735	22,050
2BR / 1.5BA	36	860	30,960
3BR / 2BA	2	975	1,950
TOTAL	68		54,960

- Net Leasable Area:** Approximately 54,960 square feet.
- Unit Amenities:** The Subject offers coat closets, blinds, hardwood/carpeting, refrigerators, ovens, and central air conditioning in terms of in-unit amenities. Garbage disposals will be added during renovations.
- Common Area Amenities:** The Subject offers central laundry, community room, computer lab, picnic area, playground, and on-site management in terms of common area amenities. The Subject also offer adult education and afterschool programming. No additional property amenities will be added during renovations.
- Parking:** The Subject currently offers 41 off-street parking spaces and an additional two spaces will be added during renovations for a total of 43 off-street parking spaces. Four of these spaces will be reserved for the proposed townhome condominium development that will be located adjacent to the Subject. Therefore, the Subject will offer a total of 39 off-street parking spaces for its tenants, or 0.6 space per unit, for no additional charge. Street parking is also available east of the Subject along North Thomas Street and west of the Subject on North Trenton Street.
- Number of Stories and Buildings:** The Subject consists of four three-story garden-style buildings.
- Americans with Disabilities Act of 1990:** We assume the property does not have any violations of the Americans with Disabilities Act of 1990.
- Quality of Construction Condition and Deferred Maintenance:** As newly renovated, the Subject will not suffer from deferred maintenance. We assume the Subject will be renovated in a timely manner with quality construction.
- Functional Utility:** We have reviewed and inspected the Subject’s floor plans and determined them to be reasonable.
- Architect:** Zavos Architecture + Design, LLC
- Site and Architectural Plans:** A copy of the site plan can be found on the following page and the floor plans in the addenda of this report.
- Conclusion:** The Subject property will be a newly renovated LIHTC development. The Subject will exhibit good condition upon completion.



Subject Site Plan



Source: Sponsor, February 2020

WHITEFIELD COMMONS – ARLINGTON, VIRGINIA – MARKET STUDY

Whitefield Commons

Location	106 North Thomas Street Arlington, VA 22203 Arlington County		
Units Type	68 Garden (3 stories)		
Year Built / Renovated	1944 / 2005/2021		

Utilities			
A/C	not included – central	Other Electric	not included
Cooking	not included – electric	Water	included
Water Heat	not included – electric	Sewer	included
Heat	not included – electric	Trash Collection	included

Unit Mix (face rent)											
Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max rent?
1	1	Garden (3 stories)	17	735	\$1,058	\$0	@50%	n/a	N/A	N/A	no
1	1	Garden (3 stories)	13	735	\$1,286	\$0	@60%	n/a	N/A	N/A	no
2	1.5	Garden (3 stories)	16	860	\$1,291	\$0	@50%	n/a	N/A	N/A	no
2	1.5	Garden (3 stories)	19	860	\$1,537	\$0	@60%	n/a	N/A	N/A	no
2	1.5	Garden (3 stories)	1	860	\$1,638	\$0	Market	n/a	N/A	N/A	N/A
3	2	Garden (3 stories)	1	975	\$1,452	\$0	@50%	n/a	N/A	N/A	no
3	2	Garden (3 stories)	1	975	\$1,771	\$0	@60%	n/a	N/A	N/A	no

Amenities		
In-Unit	Blinds Carpet/Hardwood Central A/C Coat Closet Garbage Disposal Oven Refrigerator	Security Video Surveillance
Property	Clubhouse/Community Room Central Laundry Off-Street Parking On-Site Management Picnic Area Playground Business Center/Computer Lab	Premium none
Services	Adult Education Afterschool Program	Other none

Comments

There is no fee for parking. Five units will be added during renovations. The on-site management office will be converted to apartments and management will operate out of the neighboring property, The Cadence.

D. LOCATION

LOCATION

The location of a multifamily property can have a substantial negative or positive impact upon the performance, safety and appeal of the project. The site description will discuss the physical features of the site, as well as layout, access issues, and traffic flow.



Source: Google Earth, January 2020

Subject Site Description:	The Subject is located at 106 North Thomas Road in Arlington, Arlington County, Virginia 22203.
Size:	The Subject site is approximately 2.29 acres.
Shape:	The Subject parcel is irregular in shape.
Frontage:	The Subject site has frontage along North Thomas Street and Arlington Boulevard.
Topography	The site is generally level.
Utilities:	All utilities are available to the site.
Visibility/Views:	The property is in a mixed-use area of Arlington surrounded by multifamily housing average condition, single-family homes in average condition, and retail/commercial uses.

Views north of the Subject include multifamily uses such as condominiums and Knightsbridge Apartments (excluded-subsidized) in average condition. Views east of the Subject include a private school and a house of worship. Views south of the Subject include Arlington Boulevard and a vacant American Red Cross building that is the site of The Cadence, a proposed LIHTC development that will share management with the Subject. Views to the west include single-family homes that were being demolished during our site inspection to make way for owner-occupied townhome condominiums, a pre-school, and condominiums. Once complete, there will be 19 townhomes that the developer reported are anticipated to sell between the high \$900,000 and low \$1,000,000 range. Overall, visibility and views are considered average.

Surrounding Uses:

The Subject is located south of downtown Arlington in the Buckingham neighborhood. The Subject site is rated as “Very Walkable” by Walk Score with a score of 75, indicating that errands can be accomplished by foot. The following depicts the surrounding uses of the Subject.



Grocery store north of the Subject



Residential uses north of the Subject

North: Land use to the north of the Subject consists of residential uses including Knightsbridge Apartments in average condition, which has been excluded as a comparable property due to Section 8 subsidized rents. Note that the Subject shares management with Knightsbridge Apartments. Further north is the mixed LIHTC and market rate property Gates of Ballston in average condition, which has been excluded as a comparable property because we were unable to contact them in person and via phone calls, and the mixed LIHTC and market rate property Historic Ballston Park Apartments in average condition, which has been included as a comparable property. Further north of the Subject are neighborhood amenities such as a post office, grocery store, and pharmacy.



House of worship east of the Subject



St. Thomas More Cathedral School east of the Subject

East: Land use to the east of the Subject is a house of worship and private religious school. Further east are retail uses and restaurants.



American Cross building directly southwest of the Subject to be demolished to make way for The Cadence, a new construction LIHTC property



Pedestrian tunnel that traverses under Arlington Boulevard south of the Subject

South: Land use to the south of the Subject includes a vacant American Red Cross building that is proposed for a new construction LIHTC property, The Cadence. Further south, past Arlington Boulevard, are institutional uses including the National Guard Bureau and the Foreign Service Institute (FSI).



Single-family homes adjacent to the Subject site being demolished to make way for townhome condominiums



Residential uses west of the Subject

West: Land use to the west of the Subject site includes a pre-school, Chatham Condominium in average condition, a hotel, and townhouses in good condition. Also west of the Subject is the mixed LIHTC and market rate property The Madison at Ballston Station in good condition and the LIHTC property Buckingham Village Apartments in average condition. Both of these properties were excluded from our analysis since we were unable to contact management in person and via phone calls. Directly west of the Subject site are single-family homes that, at the time of our inspection, were being demolished to make way for owner-occupied townhome condominiums. Once complete, there will be 19 townhomes that the developer reported are anticipated to sell between the high \$900,000 and low \$1,000,000 range.

Access and Traffic Flow:

The Subject is accessible from Arlington Boulevard and its adjoining service road and North Thomas Street. North Thomas Street is a lightly trafficked two-lane road. Arlington Boulevard is a heavily trafficked six-lane thoroughfare with two-lane service roads located north and south of the boulevard. Arlington Boulevard connects the Subject with several other thoroughfares, including North/South Glebe Road located 0.2 miles east of the Subject and North/South George Mason Drive located 0.1 miles west of the Subject. North George Mason Drive connects with Interstate 66 approximately 1.4 miles to the north and South Glebe Street connects with Interstate 395 approximately 2.5 miles to the south. Arlington Boulevard and Interstate 66 provide access to Washington D.C. approximately 4.0 miles east of the Subject.

Layout and Curb Appeal:

The Subject consists of four three-story garden-style buildings. The Subject will be newly renovated and exhibit good curb appeal.

Drainage:

We have not been provided with a soil and subsoil report. We are not experts in this field and assume the soil is adequate for development.

Soil and Subsoil Conditions:

We have not been provided with an environmental report. We are not experts in this field and assume the site is adequate for development.

Environmental Assessment:

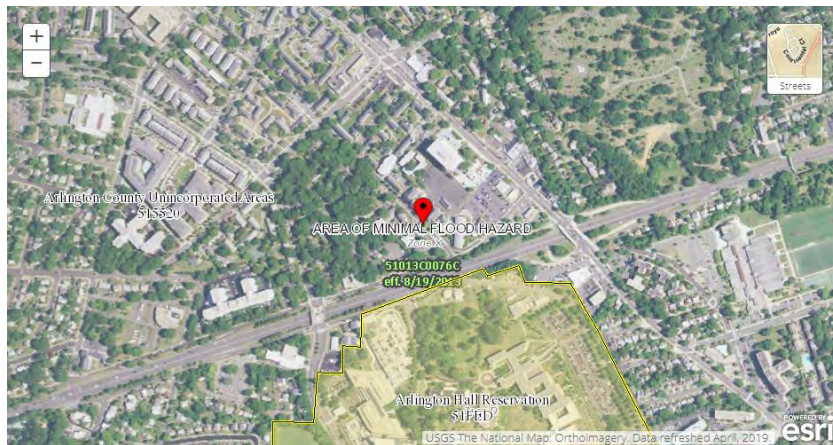
We have not been provided with an environmental report. Further analysis is beyond the scope of this report. Novogradac Consulting LLP does not have expertise in this field and cannot opine on this matter.

Detrimental Influences:

No detrimental influences were identified.

Flood Plain:

According to FEMA Flood Map Service Community Panel Number 51013C0076C dated August 19, 2013, the site is located in Zone X. Zone X is defined as an area outside 500-year floodplain, which is determined to be outside the .02 percent annual chance floodplains. Novogradac Consulting LLP does not offer expertise in this field and cannot opine on this issue. Further analysis by Novogradac is beyond the scope of the report.



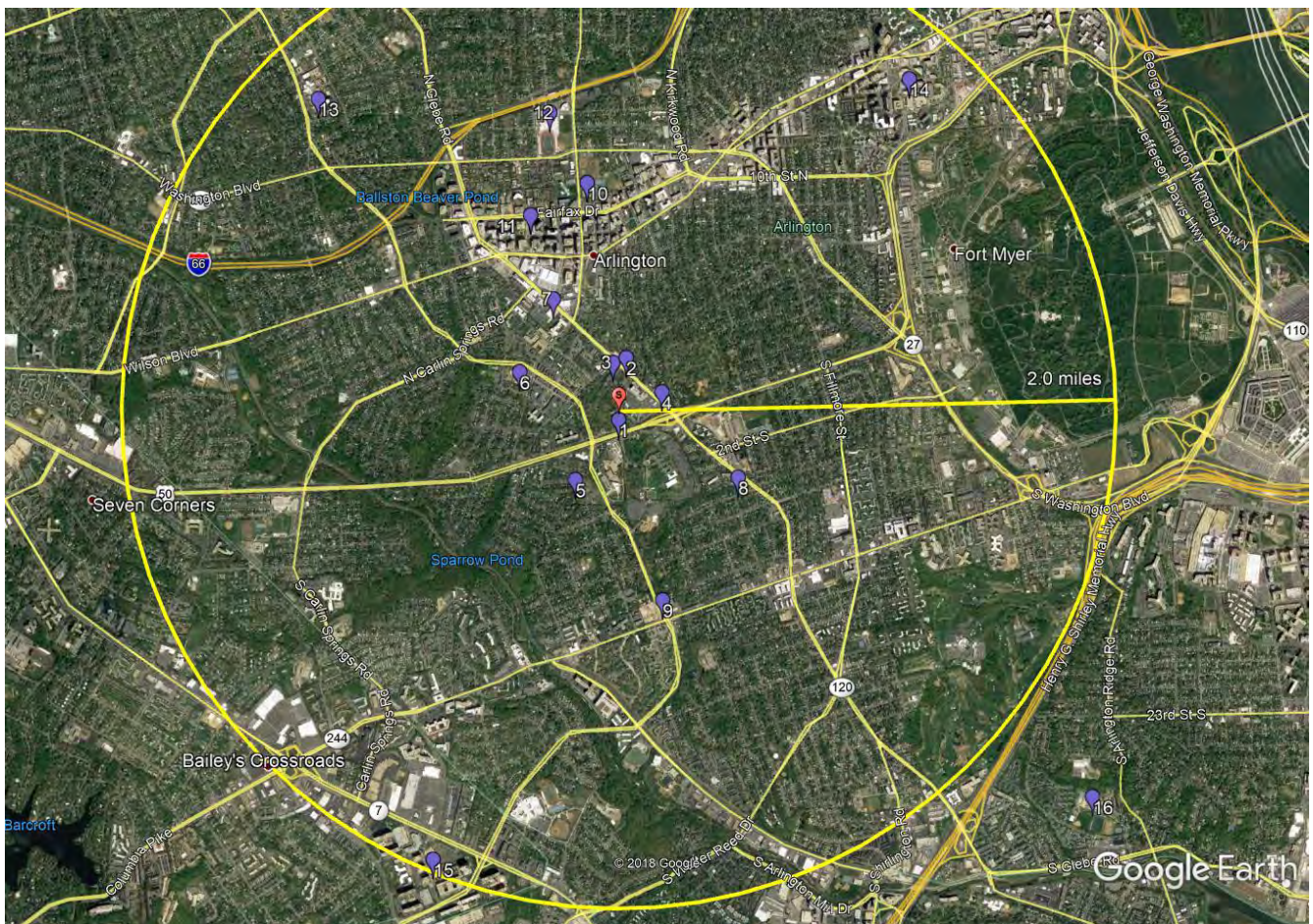
Source: FEMA Flood Map service center, February 2020

Locational Amenities:

The following table and map illustrate the Subject’s proximity to necessary services. Map numbers correspond with the *Locational Amenities Map*, presented below.

LOCATIONAL AMENITIES

Map #	Service or Amenity	Distance from Subject (Crow)
1	Bus Stop	0.0 miles
2	United States Postal Service	0.2 miles
3	CVS Pharmacy	0.2 miles
4	Liberty Gas Center	0.2 miles
5	Arlington Hall West Park	0.3 miles
6	Barrett Elementary School	0.4 miles
7	Harris Teeter Grocery Store	0.5 miles
8	Arlington County Fire Station 1	0.6 miles
9	Wells Fargo Bank	0.8 miles
10	Central Library	0.9 miles
11	Ballston-MU Metro Station	0.9 miles
12	Washington-Liberty High School	1.2 miles
13	Virginia Hospital Center	1.7 miles
14	Arlington County Police Department	1.8 miles
15	Target	2.0 miles
16	Gunston Middle School	2.5 miles



Source: GoogleEarth, February 2020

Public Transportation:

Arlington Transit (ART) provides fixed-route and paratransit bus service to residents of Arlington County. The nearest bus stop is located directly south of the Subject on Arlington Boulevard. The bus stop is served by bus line 4A, which travels from east Arlington to west Arlington and vice versa. Regular one-way adult fare is \$1.75; children and seniors are eligible for a discounted fare of \$0.85. The nearest metro station, Ballston-MU Station, is located 0.9 miles north of the Subject. Ballston-MU station is serviced by the Orange line and the Silver line.

Crime:

The following tables show crime indices for the PMA.

2019 CRIME INDICES

	PMA	Washington-Arlington-Alexandria, DC-VA-MD-WV MSA
Total Crime*	95	100
Personal Crime*	47	110
Murder	37	141
Rape	64	74
Robbery	72	147
Assault	33	96
Property Crime*	102	99
Burglary	46	70
Larceny	121	104
Motor Vehicle Theft	98	140

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

*Unweighted aggregations

The table above illustrates the crime risk as an index where 100 represents the national average. Indices above 100 are above the national average, and indices below 100 are below the national average. Total crime risk in the PMA is similar to the national average and the crime risk in the MSA. The Subject offers video surveillance, which is generally similar to a majority of the comparables. We believe that the Subject's security features are market-oriented.

Conclusion:

The Subject's neighborhood appears to be a good location for a multifamily development. The majority of the local amenities are located within approximately two miles of the Subject. Additionally, there are various retail/commercial uses located along North Glebe Road. The Subject is located in a primarily residential and retail neighborhood, with the majority of the immediate uses consisting of retail and multifamily residential uses. The Subject is a compatible use within the existing neighborhood.

PHOTOGRAPHS OF SUBJECT AND NEIGHBORHOOD



Subject exterior and parking lot



Subject exterior



Subject exterior and signage



Subject exterior and parking lot entrance



Subject exterior and parking lot



Subject picnic area



Subject playground



Subject central laundry facility



Subject central laundry facility



Subject entrance



Subject management office (to be converted to a revenue-generating unit)



Subject management office (to be converted to a revenue-generating unit)



Subject community room



Subject community room and business center



Typical bedroom



Typical bathroom



Typical living room



Typical kitchen



Single-family homes adjacent to the Subject site being demolished to make way for townhome condominiums



Residential uses in the Subject's neighborhood



Residential uses in the Subject's neighborhood



Residential uses in the Subject's neighborhood



House of worship east of the Subject



St. Thomas More Cathedral School east of the Subject



Grocery store north of the Subject



American Legion north of the Subject



View east from the Subject



American Cross building directly southwest of the Subject to be demolished to make way for The Cadence, a new construction LIHTC property

E. MARKET AREA DEFINITION

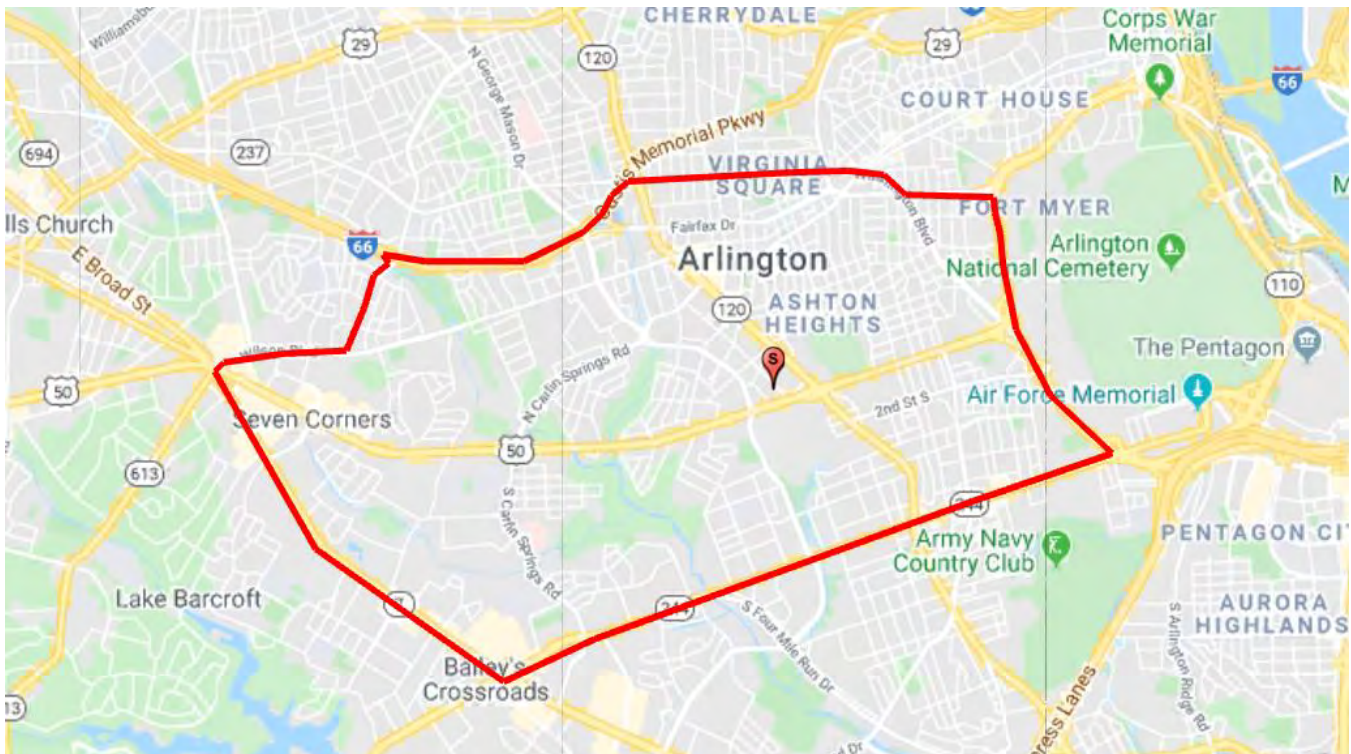
MARKET AREA

For the purpose of this study, it is necessary to define the competitive primary market area (PMA), or the area from which potential tenants for the project are likely to be drawn. In some areas, residents are very much “neighborhood oriented” and are generally very reluctant to move from the area where they have grown up. In other areas, residents are much more mobile and will relocate to a completely new area, especially if there is an attraction such as affordable housing at below market rents.

The PMA comprises a 7.0 square mile area and is roughly defined as Interstate 66 and Washington Boulevard to the north, South Washington Boulevard to the east, Columbia Pike to the south, and Leesburg Pike to the west. This area is defined based on interviews with the local housing authority, conversations with surveyed property managers, as well as a 10 minute drive time zone. We anticipate a 10 percent leakage from outside the Subject’s PMA.

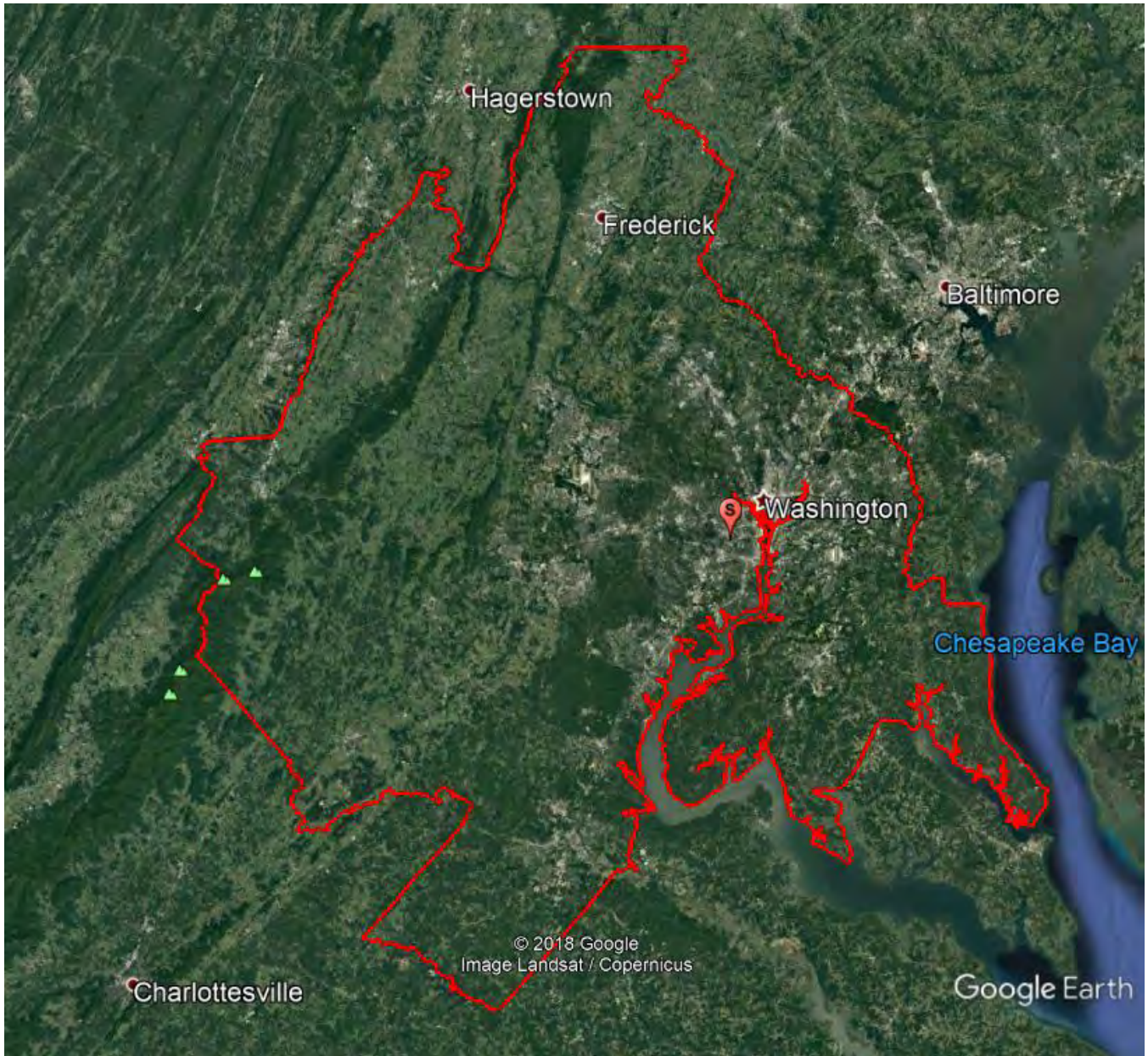
The Washington-Arlington-Alexandria, DC-VA-MD-WV Metropolitan Statistical Area (MSA) will serve as the Secondary Market Area (SMA). The MSA consists of Frederick, Montgomery, Calvert, Charles and Prince George’s Counties in Maryland; Washington, DC; Arlington, Clarke, Culpeper, Fairfax, Fauquier, Loudoun, Prince William, Rappahannock, Spotsylvania, Stafford and Warren Counties in Virginia; Jefferson County in West Virginia; and the independent cities of Alexandria, Fairfax, Falls Church, Fredericksburg, Manassas and Manassas Park in Virginia. Maps outlining the general PMA boundaries as well as the MSA can be found on the following pages.

Primary Market Area Map



Source: Google Earth, January 2020

Metropolitan Statistical Area (MSA) Map



Source: Google Earth, January 2020

F. EMPLOYMENT AND ECONOMY

ECONOMIC ANALYSIS

The following sections will provide an analysis of the economic and demographic characteristics within the market area. Data such as population, households and growth patterns will be studied to determine if the Primary Market Area (PMA) and the Washington-Arlington-Alexandria, DC-VA-MD-WV Metropolitan Statistical Area (MSA) are areas of growth or contraction.

Employment by Industry

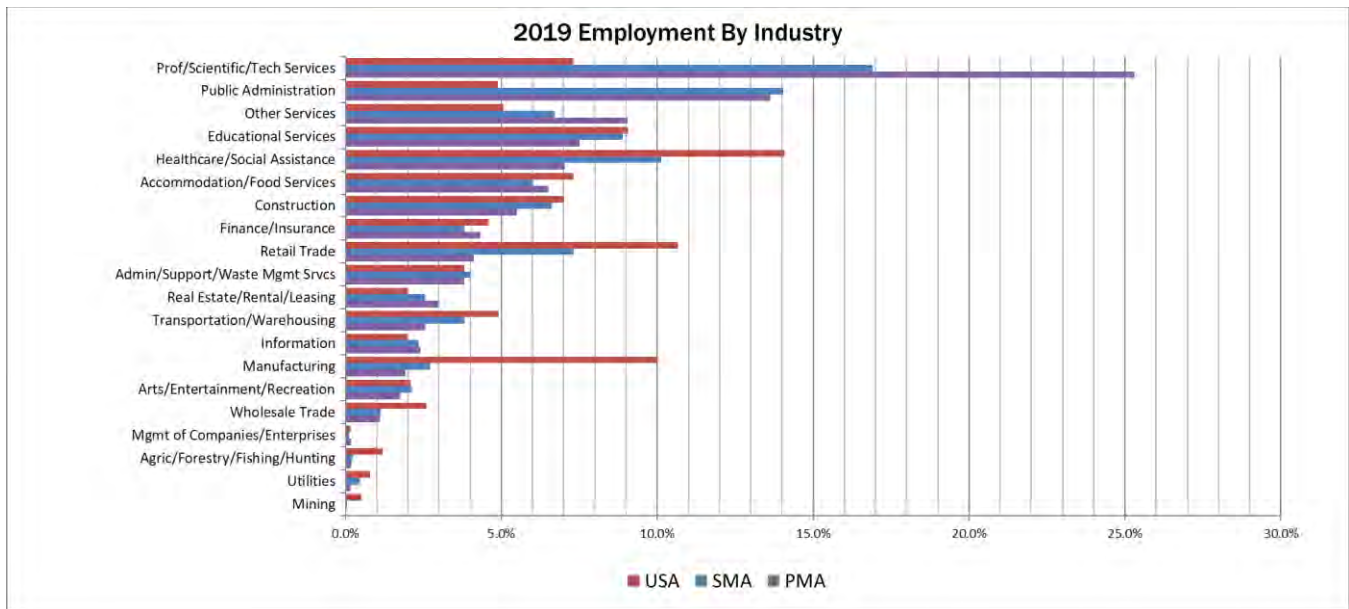
The following chart illustrates employment by industry as of 2019.

2019 EMPLOYMENT BY INDUSTRY

Industry	PMA		USA	
	Number Employed	Percent Employed	Number Employed	Percent Employed
Prof/Scientific/Tech Services	12,849	25.3%	11,744,228	7.3%
Public Administration	6,925	13.6%	7,828,907	4.9%
Other Services	4,595	9.0%	8,141,078	5.1%
Educational Services	3,810	7.5%	14,565,802	9.1%
Healthcare/Social Assistance	3,570	7.0%	22,612,482	14.1%
Accommodation/Food Services	3,305	6.5%	11,738,765	7.3%
Construction	2,792	5.5%	11,245,975	7.0%
Finance/Insurance	2,203	4.3%	7,377,311	4.6%
Retail Trade	2,086	4.1%	17,127,172	10.7%
Admin/Support/Waste Mgmt Svcs	1,939	3.8%	6,106,184	3.8%
Real Estate/Rental/Leasing	1,503	3.0%	3,204,043	2.0%
Transportation/Warehousing	1,303	2.6%	7,876,848	4.9%
Information	1,218	2.4%	3,157,650	2.0%
Manufacturing	986	1.9%	16,057,876	10.0%
Arts/Entertainment/Recreation	888	1.7%	3,332,132	2.1%
Wholesale Trade	563	1.1%	4,183,931	2.6%
Mgmt of Companies/Enterprises	96	0.2%	237,307	0.1%
Agric/Forestry/Fishing/Hunting	94	0.2%	1,915,709	1.2%
Utilities	82	0.2%	1,276,400	0.8%
Mining	0	0.0%	819,151	0.5%
Total Employment	50,807	100.0%	160,548,951	100.0%

Source: Esri Demographics 2019, Novogradac Consulting LLP, December 2019

Employment in the PMA is concentrated in the prof/scientific/tech services, public administration, and other services industries, which collectively comprise 48 percent of local employment. The large share of PMA employment in the public administration industry is notable as this industry is historically stable, and exhibits greater resilience during economic downturns. Relative to the overall nation, the PMA features comparatively greater employment in the prof/scientific/tech services, public administration, and other services industries. Conversely, the PMA is underrepresented in the manufacturing, healthcare/social assistance, and retail trade industries.



Growth by Industry

The following table illustrates the change in total employment by sector from 2000 to 2019 in the PMA.

2000-2019 CHANGE IN EMPLOYMENT - PMA

Industry	2000		2019		2000-2019	
	Number Employed	Percent Employed	Number Employed	Percent Employed	Growth	Annualized Percent
Prof/Scientific/Tech Services	6,494	16.5%	12,849	25.3%	6,355	5.2%
Public Administration	5,345	13.6%	6,925	13.6%	1,580	1.6%
Other Services	3,154	8.0%	4,595	9.0%	1,441	2.4%
Educational Services	2,216	5.6%	3,810	7.5%	1,594	3.8%
Healthcare/Social Assistance	2,473	6.3%	3,570	7.0%	1,097	2.3%
Accommodation/Food Services	3,630	9.2%	3,305	6.5%	-325	-0.5%
Construction	3,403	8.7%	2,792	5.5%	-611	-0.9%
Finance/Insurance	1,689	4.3%	2,203	4.3%	514	1.6%
Retail Trade	2,663	6.8%	2,086	4.1%	-577	-1.1%
Admin/Support/Waste Mgmt Svcs	1,845	4.7%	1,939	3.8%	94	0.3%
Real Estate/Rental/Leasing	863	2.2%	1,503	3.0%	640	3.9%
Transportation/Warehousing	1,038	2.6%	1,303	2.6%	265	1.3%
Information	2,209	5.6%	1,218	2.4%	-991	-2.4%
Manufacturing	1,088	2.8%	986	1.9%	-102	-0.5%
Arts/Entertainment/Recreation	602	1.5%	888	1.7%	286	2.5%
Wholesale Trade	411	1.0%	563	1.1%	152	1.9%
Mgmt of Companies/Enterprises	8	0.0%	96	0.2%	88	57.9%
Agric/Forestry/Fishing/Hunting	66	0.2%	94	0.2%	28	2.2%
Utilities	112	0.3%	82	0.2%	-30	-1.4%
Mining	6	0.0%	0	0.0%	-6	-5.3%
Total Employment	39,315	100.0%	50,807	100.0%	11,492	1.5%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

*Industry data current as of 2010. Other projections current as of 2019.

* Change in percentage is calculated as a rate of change by industry.

Total employment in the PMA increased at an annualized rate of 1.5 percent between 2000 and 2019. The industries which expanded most substantially during this period include prof/scientific/tech services, educational services, and public administration. Conversely, the information, construction, and retail trade sectors experienced the greatest declines in employment.

Major Employers

The following table lists the major employers in the city of Arlington as of 2019.

MAJOR EMPLOYERS ARLINGTON CITY		
Employer Name	Industry	# Of Employees
U.S. Department of Defense	Government	30,000
U.S. Department of Justice	Government	5,000
U.S. Department of State	Government	2,500-4,999
Arlington County School Board	Government	2,500-4,999
U.S. Department of Homeland Security	Government	2,500-4,999
County of Arlington	Government	2,500-4,999
Deloitte Consulting LLP	Consulting	2,500-4,999
Accenture	Consulting	2,500-4,999
Lockheed Martin	Defense	2,500-4,999
Virginia Hospital Center	Healthcare	2,500-4,999
National Science Foundation	Government	1,500-2,499
U.S. Environmental Protection Agency	Government	1,500-2,499
U.S. General Service Administration	Government	1,500-2,499
U.S. Department of Interior	Government	1,500-2,499
Booz Allen Hamilton	Consulting	1,500-1,999
Corporate Executive Board	Technology	1,000-1,499
Lidl	Retail Trade	1,000-1,499
PAE Government Services	Defense	600-999
Marriott International	Hospitality	600-999
Marymount University	Education	600-999

Source: Arlington Economic Development Department, December 2019

Arlington’s major employers are primarily concentrated within the government and consulting sectors. Other sectors include defense, healthcare, technology, retail, hospitality, and education. We believe that the diverse industries represented by major employers provide stability to the local economy.

Employment Expansion/Contractions

Scott Pedowitz, the Government Affairs Manager at the Arlington Chamber of Commerce, informed us that the Arlington economy has greatly expanded over the past few years and is expected to continue to grow. Mr. Pedowitz stated that the major employer in Arlington has traditionally been the public sector. However, the Arlington economy is becoming increasingly diversified, with large corporations like Amazon and Nestlé opening headquarters in the city. Mr. Pedowitz stated there has been an uptick in many new local businesses opening as well, and an increase in retail business to serve the new employees moving to Arlington. The recent economic expansions detailed by Mr. Pedowitz are highlighted below.

- Incentive Technology Group (iTG) will be expanding its headquarters in Arlington. The information technology and management consulting firm will invest \$5.1 million into its Arlington headquarters.

The company's 50,000 square foot space created 128 new jobs in 2019, and the company has committed to hiring over 1,000 new high-paying employees long term.

- Nestlé USA, the world's largest food and beverage company, relocated its U.S. headquarters from California to Arlington. The process was completed in 2018 and added 750 jobs, half of which are new hires. In August 2019, Nestlé announced it will expanding its presence in Arlington from a 252,000 square foot space to a 300,000 square foot space.
- Nestlé will invest an additional \$5 million to relocate Gerber from New Jersey to join its U.S. headquarters in Arlington's Rosslyn neighborhood. Gerber is expected to occupy 23,392 square feet of office space in Rosslyn's 1812 North Moore address, creating a total of 150 new jobs. The process will be complete by the end of 2019.
- In December 2018, March of Dimes chose Arlington as its new home after a competitive bid process to relocate its current headquarters from New York. The organization will occupy approximately 28,000 square feet of office space at 1550 Crystal Drive in Crystal City and create 80 new jobs.
- In November 2018, Amazon chose Arlington as its new headquarters, which will be located approximately 3.5 miles east of the Subject. Amazon will invest approximately \$2.5 billion to establish a new headquarters in National Landing, which will create more than 25,000 high paying jobs and occupy four million square feet of energy-efficient office space with the opportunity to expand to eight million square feet over the next 12 years. According to a Washingtonian article from June 2019, the announcement of Amazon is projected to increase home prices in Arlington County by up to 17.2 percent by the end of 2019. However, it should be noted that the largest increases in home value are projected to occur in areas closer to the new Amazon headquarters. According to Zillow, home value in the Subject's zip code has increased by approximately 5.0 percent since October 2018, prior to the announcement of Amazon. According to Costar trend data, average price per unit for multifamily properties and average price per acre for land of all types have not increased significantly since the announcement of Amazon's new headquarters. Given the data discussed above, Amazon's impact on current values is inconclusive in the Subject's market area.

The following table illustrates layoffs and closures in Arlington from January 2017 through December 2019. These are provided from the Worker Adjustment and Retraining Notification (WARN) filings, according to the Virginia Employment Commission.

**WARN LISTINGS
ARLINGTON CITY**

Company	Industry	Employees Affected	Layoff Date
National Express Transit (NEXT)	Transportation	150	12/31/2019
Oakwood Worldwide (US) LP	Real Estate	23	12/30/2019
Advanced System Development, Inc. (ASD)	Technology	54	12/16/2019
Omniplex	Security Services	168	12/15/2019
NetCentrics Corporation	Technology	95	11/30/2019
OMNIPLEX World Services	Security Services	155	5/9/2019
NetCentrics Corporation	Technology	149	10/31/2018
Dream Center Education Holdings, LLC	Education	118	8/28/2018
PE Systems	Technology	68	8/10/2018
CACI	Technology	65	6/30/2018
AES Corporation	Energy	70	4/6/2018
Transportation General, Inc	Transportation	80	3/4/2018
Airport Terminal Services	Transportation	85	1/2/2017
Total		1,280	

Source: Virginia Employment Commission, December 2019

According to the Virginia Employment Commission, there have been 1,280 job losses in Arlington since January 2017. This represents 2.5 percent of the workforce in the PMA.

Employment and Unemployment Trends

The following table details employment and unemployment trends for the MSA from 2003 to October 2019.

EMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

	Washington-Arlington-Alexandria, DC-VA-MD-WV MSA			USA		
	Total Employment	% Change	Differential from peak	Total Employment	% Change	Differential from peak
2003	2,682,624	-	-18.2%	137,736,000	-	-11.6%
2004	2,729,743	1.8%	-16.8%	139,252,000	1.1%	-10.6%
2005	2,803,963	2.7%	-14.5%	141,730,000	1.8%	-9.0%
2006	2,867,910	2.3%	-12.6%	144,427,000	1.9%	-7.3%
2007	2,905,565	1.3%	-11.4%	146,047,000	1.1%	-6.2%
2008	2,946,320	1.4%	-10.2%	145,363,000	-0.5%	-6.7%
2009	2,893,543	-1.8%	-11.8%	139,878,000	-3.8%	-10.2%
2010	2,950,727	2.0%	-10.1%	139,064,000	-0.6%	-10.7%
2011	3,002,266	1.7%	-8.5%	139,869,000	0.6%	-10.2%
2012	3,047,925	1.5%	-7.1%	142,469,000	1.9%	-8.5%
2013	3,077,817	1.0%	-6.2%	143,929,000	1.0%	-7.6%
2014	3,095,609	0.6%	-5.6%	146,305,000	1.7%	-6.1%
2015	3,128,658	1.1%	-4.6%	148,833,000	1.7%	-4.4%
2016	3,188,377	1.9%	-2.8%	151,436,000	1.7%	-2.8%
2017	3,243,875	1.7%	-1.1%	153,337,000	1.3%	-1.6%
2018	3,280,957	1.1%	0.0%	155,761,000	1.6%	0.0%
2019 YTD Average*	3,338,353	1.7%	-	157,300,800	1.0%	-
Oct-2018	3,288,542	-	-	156,952,000	-	-
Oct-2019	3,392,412	3.2%	-	159,067,000	1.3%	-

Source: U.S. Bureau of Labor Statistics, February 2020

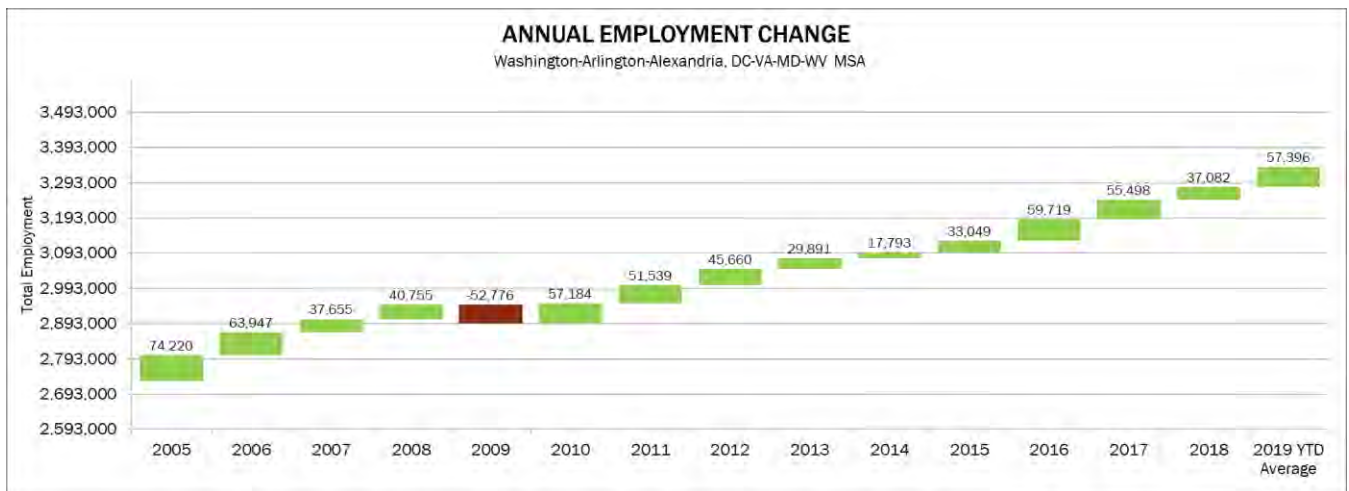
UNEMPLOYMENT TRENDS (NOT SEASONALLY ADJUSTED)

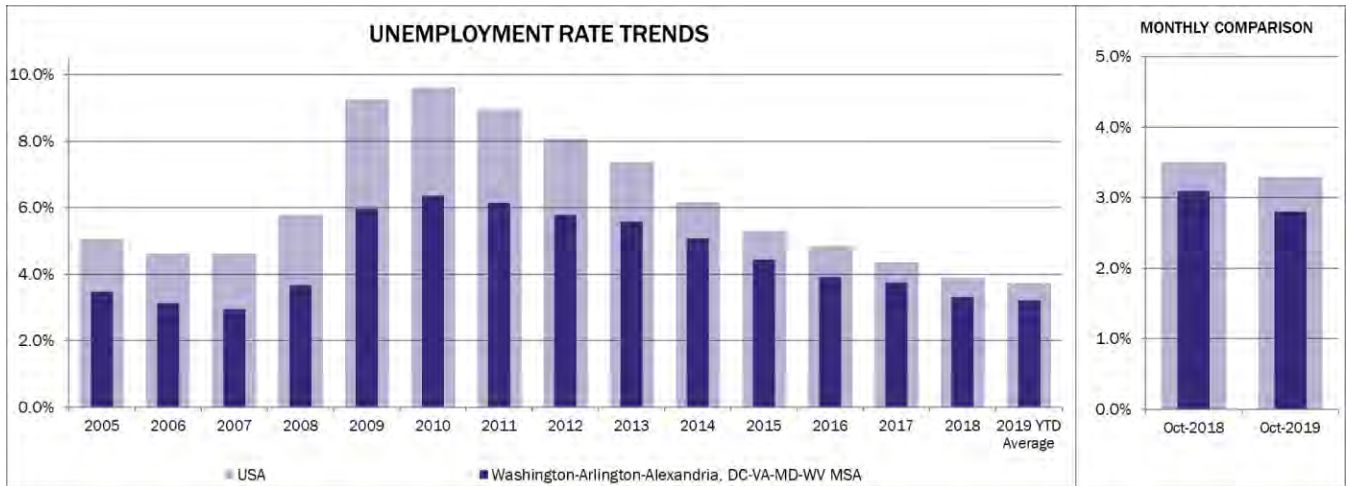
	Washington-Arlington-Alexandria, DC-VA-MD-WV MSA			USA		
	Unemployment Rate	Change	Differential from peak	Unemployment Rate	Change	Differential from peak
2003	3.9%	-	0.9%	6.0%	-	2.1%
2004	3.7%	-0.1%	0.8%	5.5%	-0.5%	1.6%
2005	3.5%	-0.3%	0.5%	5.1%	-0.5%	1.2%
2006	3.1%	-0.4%	0.2%	4.6%	-0.5%	0.7%
2007	3.0%	-0.2%	0.0%	4.6%	0.0%	0.7%
2008	3.7%	0.7%	0.7%	5.8%	1.2%	1.9%
2009	6.0%	2.3%	3.0%	9.3%	3.5%	5.4%
2010	6.4%	0.4%	3.4%	9.6%	0.3%	5.7%
2011	6.2%	-0.2%	3.2%	9.0%	-0.7%	5.1%
2012	5.8%	-0.4%	2.8%	8.1%	-0.9%	4.2%
2013	5.6%	-0.2%	2.6%	7.4%	-0.7%	3.5%
2014	5.1%	-0.5%	2.1%	6.2%	-1.2%	2.3%
2015	4.4%	-0.6%	1.5%	5.3%	-0.9%	1.4%
2016	3.9%	-0.5%	1.0%	4.9%	-0.4%	1.0%
2017	3.8%	-0.2%	0.8%	4.4%	-0.5%	0.4%
2018	3.3%	-0.4%	0.4%	3.9%	-0.4%	0.0%
2019 YTD Average*	3.2%	-0.1%	-	3.7%	-0.2%	-
Oct-2018	3.1%	-	-	3.5%	-	-
Oct-2019	2.8%	-0.3%	-	3.3%	-0.2%	-

Source: U.S. Bureau of Labor Statistics, February 2020

Total employment in the MSA has increased each year since 2010. Between October 2018 and October 2019 the MSA experienced a 3.2 percent increase in total employment, which is greater than the pace of employment growth in the nation.

Historically, the MSA has experienced lower unemployment rates than the nation. The unemployment rate in the MSA has declined each year since 2011. The lower unemployment rate in the MSA compared to the nation overall is due to the prominence of employment within several diversified and stable industries. As of October 2019, the unemployment rate in the MSA was 2.8 percent, which is 50 basis points below the nation.





Wages by Occupation

The following table illustrates the wages by occupation for the Washington-Arlington-Alexandria, DC-VA-MD-WV MSA.

WASHINGTON-ARLINGTON-ALEXANDRIA, DC-VA-MD-WV MSA - 2ND QTR 2018 AREA WAGE ESTIMATES

Occupation	Number of Employees	Mean Hourly Wage	Mean Annual Wage
All Occupations	3,135,160	\$34.12	\$70,980
Management Occupations	244,200	\$72.10	\$149,960
Legal Occupations	68,260	\$69.97	\$145,540
Computer and Mathematical Occupations	232,290	\$51.81	\$107,760
Life, Physical, and Social Science Occupations	61,760	\$51.24	\$106,580
Architecture and Engineering Occupations	64,140	\$50.30	\$104,620
Healthcare Practitioners and Technical Occupations	152,090	\$46.31	\$96,330
Business and Financial Operations Occupations	311,610	\$45.57	\$94,770
Arts, Design, Entertainment, Sports, and Media Occupations	73,050	\$39.24	\$81,620
Education, Training, and Library Occupations	197,160	\$31.33	\$65,160
Community and Social Service Occupations	41,210	\$29.25	\$60,840
Protective Service Occupations	88,360	\$28.47	\$59,210
Installation, Maintenance, and Repair Occupations	99,290	\$27.02	\$56,200
Construction and Extraction Occupations	112,390	\$24.92	\$51,820
Sales and Related Occupations	273,260	\$22.23	\$46,230
Office and Administrative Support Occupations	397,750	\$21.96	\$45,670
Transportation and Material Moving Occupations	130,330	\$20.57	\$42,780
Production Occupations	54,550	\$20.50	\$42,640
Farming, Fishing, and Forestry Occupations	1,850	\$19.22	\$39,990
Healthcare Support Occupations	68,530	\$16.93	\$35,220
Building and Grounds Cleaning and Maintenance Occupations	105,260	\$15.58	\$32,410
Personal Care and Service Occupations	97,310	\$15.18	\$31,570
Food Preparation and Serving Related Occupations	260,490	\$14.00	\$29,120

Source: Department Of Labor, Occupational Employment Statistics, 5/2018, retrieved 2/2020

The table above shows the average hourly and annual wages by occupation classification. The classification with the lowest average hourly wage was food preparation and serving related occupations at \$14.00 per hour. The highest average hourly wage, of \$72.10, is for those in management occupations.

The qualifying incomes for the Subject’s LIHTC tenants will range from \$38,640 to \$78,660. Utilizing the upper end of the Subject’s qualifying income at \$78,660 corresponds to an approximate hourly wage rate of \$37.82. This encompasses a significant portion of employment in the MSA. An element not reflected in the wage rate data is that many positions represent part-time employment, and starting rates are typically lower than mean wage rates. We expect that part-time employment and entry-level positions will be common amongst the Subject’s tenant base.

Commuting Patterns

The chart below shows the travel time to work for the PMA according to US Census data.

COMMUTING PATTERNS		
ACS Commuting Time to Work	Number of Commuters	Percentage
Travel Time < 5 min	559	1.2%
Travel Time 5-9 min	2,366	5.2%
Travel Time 10-14 min	4,396	9.7%
Travel Time 15-19 min	5,375	11.8%
Travel Time 20-24 min	5,762	12.7%
Travel Time 25-29 min	2,597	5.7%
Travel Time 30-34 min	10,717	23.6%
Travel Time 35-39 min	2,572	5.7%
Travel Time 40-44 min	2,913	6.4%
Travel Time 45-59 min	5,262	11.6%
Travel Time 60-89 min	2,233	4.9%
Travel Time 90+ min	664	1.5%
Weighted Average	31 minutes	

Source: US Census 2019, Novogradac Consulting LLP, February 2020

As shown above, the average commuting time is 31 minutes. Approximately 40.6 percent of households in the PMA have a commute time of 24 minutes or less, indicating many of the households work outside of the PMA. The PMA has a drive time zone of approximately 10 minutes.

Conclusion

Employment in the PMA is concentrated in the prof/scientific/tech services, public administration, and other services industries, which collectively comprise 48 percent of local employment. The large share of PMA employment in the public administration industry is notable as this industry is historically stable, and exhibits greater resilience during economic downturns. This was evident during the recession, when total employment in the MSA fell by only 1.8 percent, compared to a 4.8 percent decline across the overall nation. Employment in the MSA recovered and surpassed pre-recessionary levels in 2010, four years prior to the overall nation. As of October 2019, total employment in the MSA is at a post-recessionary record and increasing at an annualized rate of 3.2 percent, compared to 1.3 percent across the overall nation. Overall, the local economy appears to be in an expansionary phase.

G. DEMOGRAPHIC CHARACTERISTICS

DEMOGRAPHIC CHARACTERISTICS

The table below illustrates population and household trends in the PMA, MSA, and nation from 2000 through 2024.

POPULATION

Year	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	68,614	-	4,857,585	-	281,250,431	-
2010	70,966	0.3%	5,636,232	1.6%	308,745,538	1.0%
2019	78,460	1.1%	6,249,043	1.2%	332,417,793	0.8%
2024	83,076	1.2%	6,597,430	1.1%	345,487,602	0.8%

Source: Esri Demographics 2019, Novogradac Consulting LLP, December 2019

HOUSEHOLDS

Year	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	29,234	-	1,826,778	-	105,409,439	-
2010	31,901	0.9%	2,094,048	1.5%	116,716,296	1.1%
2019	35,607	1.3%	2,307,953	1.1%	125,168,557	0.8%
2024	37,753	1.2%	2,431,131	1.1%	129,589,563	0.7%

Source: Esri Demographics 2019, Novogradac Consulting LLP, December 2019

Historical population and household growth in the PMA trailed the MSA between 2000 and 2010. However, population and household growth in the broader MSA exceeded the nation during the same time period. Population and household growth in the PMA accelerated between 2010 and 2019, and grew at a rate similar to the MSA. According to ESRI demographic projections, annualized PMA population and household growth are expected to remain relatively stable at 1.2 percent through 2024, similar to the MSA and above the overall nation.

Population by Age

POPULATION BY AGE IN 2019

Age Cohort	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Number	Percentage	Number	Percentage	Number	Percentage
0-4	4,053	5.2%	372,292	6.0%	19,910,625	6.0%
5-9	3,739	4.8%	391,225	6.3%	20,403,851	6.1%
10-14	3,571	4.6%	409,667	6.6%	20,943,945	6.3%
15-19	3,083	3.9%	384,829	6.2%	21,063,657	6.3%
20-24	4,881	6.2%	385,687	6.2%	22,226,943	6.7%
25-29	9,915	12.6%	465,233	7.4%	23,947,414	7.2%
30-34	9,664	12.3%	473,315	7.6%	22,590,667	6.8%
35-39	7,663	9.8%	469,012	7.5%	21,864,602	6.6%
40-44	5,398	6.9%	415,491	6.6%	19,913,297	6.0%
45-49	4,770	6.1%	418,647	6.7%	20,647,083	6.2%
50-54	4,268	5.4%	413,885	6.6%	20,930,948	6.3%
55-59	4,299	5.5%	423,239	6.8%	22,429,066	6.7%
60-64	3,788	4.8%	369,925	5.9%	20,971,686	6.3%
65-69	3,136	4.0%	300,047	4.8%	18,029,377	5.4%
70-74	2,344	3.0%	226,068	3.6%	14,131,085	4.3%
75-79	1,539	2.0%	144,276	2.3%	9,484,194	2.9%
80-84	1,039	1.3%	90,011	1.4%	6,213,244	1.9%
85+	1,310	1.7%	96,194	1.5%	6,716,109	2.0%
Total	78,460	100.0%	6,249,043	100.0%	332,417,793	100.0%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

POPULATION BY AGE IN 2024 ESTIMATE

Age Cohort	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Number	Percentage	Number	Percentage	Number	Percentage
0-4	4,248	5.1%	397,017	6.0%	20,731,783	6.0%
5-9	3,745	4.5%	395,949	6.0%	20,679,798	6.0%
10-14	3,482	4.2%	403,337	6.1%	21,345,192	6.2%
15-19	3,335	4.0%	400,355	6.1%	21,702,946	6.3%
20-24	5,447	6.6%	387,096	5.9%	21,636,277	6.3%
25-29	9,214	11.1%	460,854	7.0%	22,383,185	6.5%
30-34	9,839	11.8%	526,600	8.0%	24,777,046	7.2%
35-39	8,203	9.9%	503,270	7.6%	23,320,935	6.8%
40-44	6,618	8.0%	475,309	7.2%	22,225,551	6.4%
45-49	5,011	6.0%	410,538	6.2%	20,020,272	5.8%
50-54	4,557	5.5%	411,429	6.2%	20,593,987	6.0%
55-59	4,243	5.1%	398,449	6.0%	20,604,708	6.0%
60-64	4,095	4.9%	397,297	6.0%	21,810,786	6.3%
65-69	3,526	4.2%	340,735	5.2%	20,047,387	5.8%
70-74	2,796	3.4%	268,462	4.1%	16,440,719	4.8%
75-79	2,032	2.4%	195,836	3.0%	12,350,266	3.6%
80-84	1,328	1.6%	117,191	1.8%	7,653,913	2.2%
85+	1,353	1.6%	107,706	1.6%	7,162,851	2.1%
Total	83,072	100.0%	6,597,430	100.0%	345,487,602	100.0%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

General Household Income Distribution

The following table illustrates household income distribution in the PMA and the MSA.

HOUSEHOLD INCOME PMA

Income Cohort	2019		PMA 2024		Annual Change 2019 to 2024	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,865	5.2%	1,893	5.0%	6	0.3%
\$10,000-19,999	2,019	5.7%	2,014	5.3%	-1	0.0%
\$20,000-29,999	2,123	6.0%	2,191	5.8%	14	0.6%
\$30,000-39,999	1,870	5.3%	1,902	5.0%	6	0.3%
\$40,000-49,999	1,690	4.7%	1,731	4.6%	8	0.5%
\$50,000-59,999	1,630	4.6%	1,675	4.4%	9	0.6%
\$60,000-74,999	3,179	8.9%	3,095	8.2%	-17	-0.5%
\$75,000-99,999	4,526	12.7%	4,708	12.5%	36	0.8%
\$100,000-124,999	3,844	10.8%	3,951	10.5%	21	0.6%
\$125,000-149,999	3,118	8.8%	3,359	8.9%	48	1.5%
\$150,000-199,999	3,977	11.2%	4,349	11.5%	74	1.9%
\$200,000+	5,766	16.2%	6,885	18.2%	224	3.9%
Total	35,607	100.0%	37,753	100.0%		

Source: HISTA Data / Ribbon Demographics 2019, Novogradac Consulting LLP, December 2019

HOUSEHOLD INCOME SMA

Income Cohort	2019		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA 2024		Annual Change 2019 to 2024	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	97,554	4.2%	98,318	4.0%	153	0.2%
\$10,000-19,999	106,556	4.6%	108,350	4.5%	359	0.3%
\$20,000-29,999	121,551	5.3%	123,588	5.1%	407	0.3%
\$30,000-39,999	131,584	5.7%	134,083	5.5%	500	0.4%
\$40,000-49,999	138,865	6.0%	141,765	5.8%	580	0.4%
\$50,000-59,999	141,666	6.1%	145,524	6.0%	772	0.5%
\$60,000-74,999	207,361	9.0%	213,010	8.8%	1,130	0.5%
\$75,000-99,999	297,613	12.9%	309,351	12.7%	2,348	0.8%
\$100,000-124,999	260,692	11.3%	272,481	11.2%	2,358	0.9%
\$125,000-149,999	198,110	8.6%	212,384	8.7%	2,855	1.4%
\$150,000-199,999	259,855	11.3%	279,025	11.5%	3,834	1.5%
\$200,000+	346,546	15.0%	393,252	16.2%	9,341	2.7%
Total	2,307,953	100.0%	2,431,131	100.0%		

Source: HISTA Data / Ribbon Demographics 2019, Novogradac Consulting LLP, December 2019

Annual household income levels will range from \$38,640 to \$78,660 for the Subject’s LIHTC units.

General Household Size Distribution

The following table is a summary of the household size distribution in the PMA, the MSA and the nation.

Year	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Number	Annual Change	Number	Annual Change	Number	Annual Change
2000	2.33	-	2.60	-	2.59	-
2010	2.20	-0.5%	2.64	0.2%	2.58	-0.1%
2019	2.19	-0.1%	2.66	0.1%	2.59	0.1%
2024	2.18	0.0%	2.67	0.1%	2.60	0.1%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

The average household size in the PMA is below that of the MSA and the nation. The average household size in the PMA is expected to decrease slightly through 2024 while the MSA and the nation are projected to see slight increases in the average household size during the same time frame.

General Household Tenure

The following table is a summary of the tenure patterns of the housing stock in the PMA.

Year	Owner-Occupied		Renter-Occupied	
	Units	Percentage Owner-Occupied	Units	Percentage Renter-Occupied
2000	11,726	40.1%	17,508	59.9%
2019	13,975	39.2%	21,632	60.8%
2024	15,179	40.2%	22,574	59.8%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

Renter-occupied housing units dominate the housing market in the PMA. Nationally, approximately two-thirds of households are homeowners and one-third are renters. The PMA has a significantly larger percentage of renter households compared to the nation as a whole. The number of renter-occupied household is expected to slightly increase through 2024 resulting in an additional 942 renters.

General Renter Household Income Distribution

The following table illustrates total renter household income distribution.

Income Cohort	RENTER HOUSEHOLD INCOME					
	2019		PMA 2024		Annual Change 2019 to 2024	
	<i>Number</i>	<i>Percentage</i>	<i>Number</i>	<i>Percentage</i>	<i>Number</i>	<i>Percentage</i>
\$0-9,999	1,388	6.4%	1,387	6.1%	0	0.0%
\$10,000-19,999	1,640	7.6%	1,601	7.1%	-8	-0.5%
\$20,000-29,999	1,688	7.8%	1,704	7.5%	3	0.2%
\$30,000-39,999	1,269	5.9%	1,258	5.6%	-2	-0.2%
\$40,000-49,999	1,103	5.1%	1,111	4.9%	2	0.1%
\$50,000-59,999	1,185	5.5%	1,180	5.2%	-1	-0.1%
\$60,000-74,999	2,238	10.3%	2,152	9.5%	-17	-0.8%
\$75,000-99,999	3,199	14.8%	3,339	14.8%	28	0.9%
\$100,000-124,999	2,340	10.8%	2,427	10.8%	17	0.7%
\$125,000-149,999	1,801	8.3%	1,922	8.5%	24	1.3%
\$150,000-199,999	1,905	8.8%	2,175	9.6%	54	2.8%
\$200,000+	1,876	8.7%	2,318	10.3%	88	4.7%
Total	21,632	100.0%	22,574	100.0%		

Source: HISTA Data / Ribbon Demographics 2019, Novogradac Consulting LLP, February 2020

In the previous tables, the percentage of renter-occupied households was applied to the total number of households in each income level. As illustrated, the largest concentrations of renter households fall into the \$60,000 to \$124,999 income cohorts. The Subject’s residents will need to earn between \$38,640 to \$78,660. Approximately 26.8 percent of renter households earn between \$30,000 and \$74,999 and could provide demand for the Subject’s units.

Household Size Distribution

The table below shows the breakdown of households by number of persons in the household within the Subject’s PMA.

Household Size	PMA HOUSEHOLD SIZE DISTRIBUTION					
	2000		2019		2024	
	<i>Total</i>	<i>Percent</i>	<i>Total</i>	<i>Percent</i>	<i>Total</i>	<i>Percent</i>
1 persons	11,442	39.1%	14,807	41.6%	15,794	41.8%
2 persons	8,619	29.5%	10,390	29.2%	10,949	29.0%
3 persons	3,687	12.6%	4,443	12.5%	4,729	12.5%
4 persons	2,795	9.6%	3,340	9.4%	3,514	9.3%
5+ persons	2,691	9.2%	2,627	7.4%	2,767	7.3%
Total	29,234	100.0%	35,607	100.0%	37,753	100.0%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

As of 2019, the majority of households in the PMA consist of one and two persons.

Renter Household Size Distribution

The table below shows the breakdown of renter households by number of persons in the household within the Subject’s PMA.

PMA RENTER HOUSEHOLD SIZE DISTRIBUTION						
Household Size	2000		2019		2024	
	Total	Percent	Total	Percent	Total	Percent
1 persons	7,323	41.8%	10,330	47.8%	10,917	48.4%
2 persons	4,730	27.0%	5,743	26.5%	5,850	25.9%
3 persons	2,060	11.8%	2,527	11.7%	2,667	11.8%
4 persons	1,623	9.3%	1,622	7.5%	1,678	7.4%
5+ persons	1,772	10.1%	1,410	6.5%	1,462	6.5%
Total	17,508	100.0%	21,632	100.0%	22,574	100.0%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

Historically, the majority of renter households in the PMA have consisted of one and two-person households. In 2019, approximately 74 percent of renter-households were one or two-persons. The number of three-person and larger renter households has declined since 2000.

Median Household Income Levels

The table below illustrates median household income levels in the PMA, MSA, and nation from 2000 through 2024. Note that this is based on data for all household sizes and is independent of the calculation of AMI.

Year	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Amount	Annual Change	Amount	Annual Change	Amount	Annual Change
2000	\$32,055	-	\$62,788	-	\$44,882	-
2019	\$102,671	11.4%	\$102,025	3.2%	\$60,548	1.8%
2024	\$112,535	1.9%	\$110,163	1.6%	\$69,180	2.9%

Source: Esri Demographics 2019, Novogradac Consulting LLP, December 2019

As of 2019, the median income in the PMA is similar the surrounding MSA. Median household income growth in the PMA exceeded the MSA between 2000 and 2019. Income growth in both geographic areas exceeded the overall nation during this time period. In particular, median income in the PMA rose from 71 percent of the national median income in 2000 to 170 percent in 2019. The overall rise in median income levels reflects a market where lower income households may be priced out by more affluent households. It also indicates that affordable housing properties should prosper in the future as incomes and, therefore, achievable rents rise. According to ESRI demographic projections, annualized PMA growth is expected to slow to 1.9 percent through 2024, which is above projected growth in the MSA. However, growth in both geographic areas is expected to trail the nation.

Rent Overburdened Households

The following table illustrates the percentage of households paying greater than 35 percent of their income towards housing in the PMA, the MSA, and the nation.

RENT OVERBURDENED

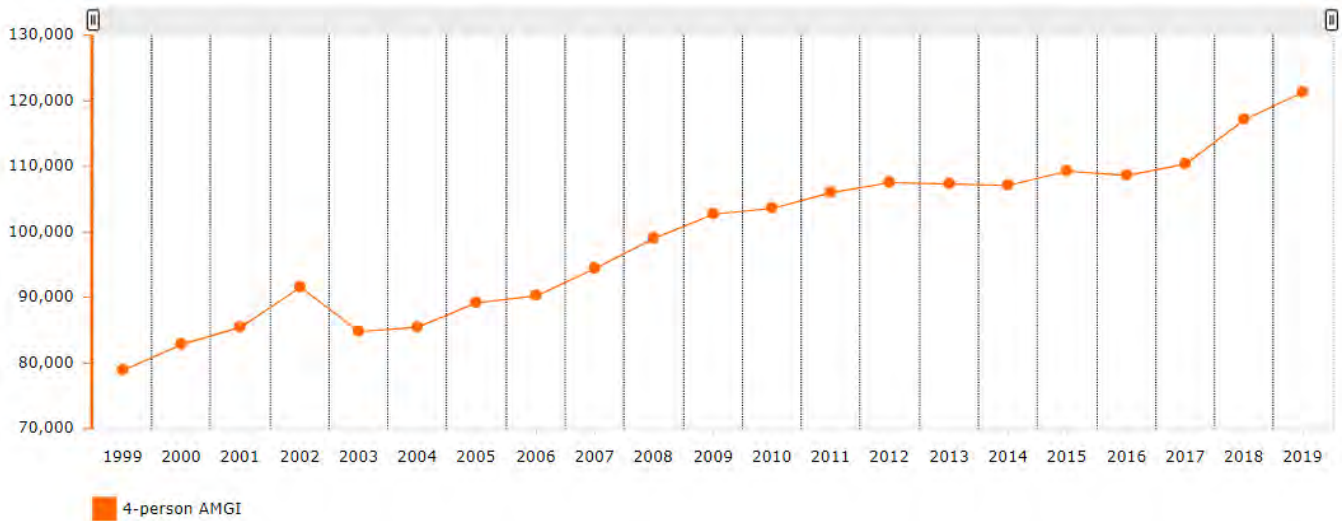
Year	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
	Amount	Percentage	Amount	Percentage	Amount	Percentage
2019	6,974	36.4%	289,106	38.7%	16,657,755	42.7%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

As illustrated, the percentage of rent overburdened households in the PMA is below the MSA and the nation.

Area Median Income

For Section 42 LIHTC rent determination purposes, the HUD AMI is used. It should be noted that the HUD AMI differs from the median household income illustrated previously. HUD uses the Area Median Income in metropolitan and non-metropolitan areas to calculate income limits for eligibility in a variety of housing programs. HUD estimates the AMI for an area in the current year and adjusts that amount for different household sizes so that household incomes may be expressed as a percentage of the area median income. The following chart illustrates the AMI level for a four-person household in Arlington County.





Source: Novogradac Consulting LLP, December 2019

Overall, the AMI has increased by an average of 1.9 percent annually between 1999 and 2019. The AMI in Arlington County reached a record high in 2019.

ARLINGTON COUNTY AMI GROWTH (2013-2019)

Year	2013	2014	2015	2016	2017	2018	2019
AMI	\$107,300	\$107,000	\$109,200	\$108,600	\$110,300	\$117,200	\$121,300
Percentage	-0.2%	-0.3%	2.1%	-0.5%	1.6%	6.3%	3.5%

Conclusion

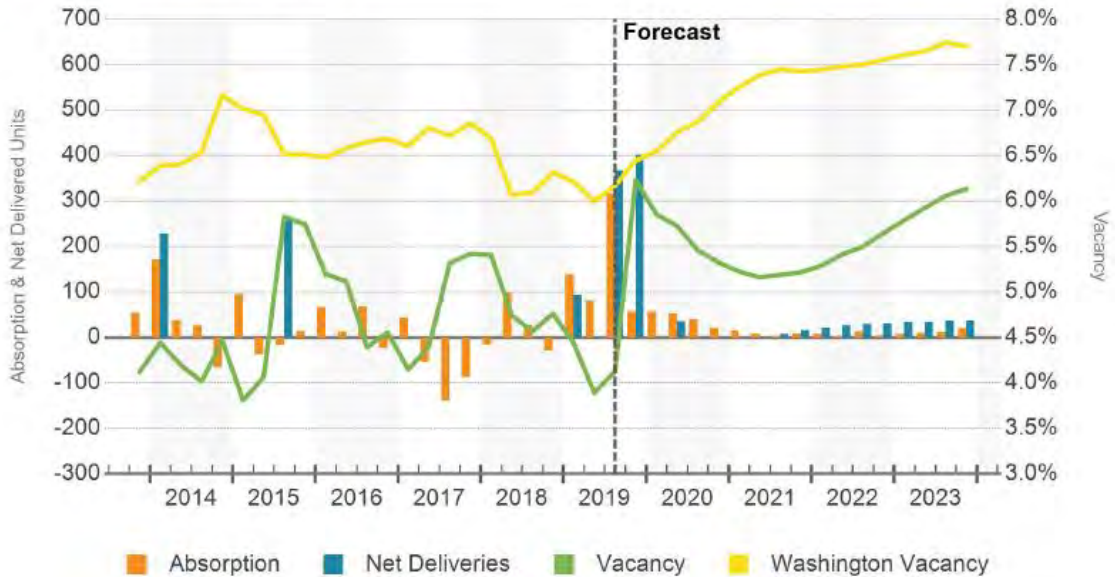
The population in the PMA increased by 14.3 percent between 2000 and 2019, compared to the 28.6 percent increase in the regional MSA and 18.2 percent increase across the overall nation. The percentage of renter households in the PMA remained relatively stable between 2000 and 2019, and is estimated to be 60.8 percent as of 2019. This is more than the estimated 33 percent of renter households across the overall nation. As of 2019, the median income in the PMA is similar to the surrounding MSA. Median household income growth in the PMA exceeded the MSA between 2000 and 2019. Income growth in both geographic areas exceeded the overall nation during this time period. In particular, median income in the PMA rose from 71 percent of the national median income in 2000 to 170 percent in 2019. Overall, the combination of rising population and household income levels bodes well for future demand for multifamily housing.

H. COMPETITIVE ENVIRONMENT

HOUSING SUMMARY

We consulted a Costar report for the Outlying Arlington County submarket to gather information on the local apartment rental market. The following chart illustrates vacancy in the green line.

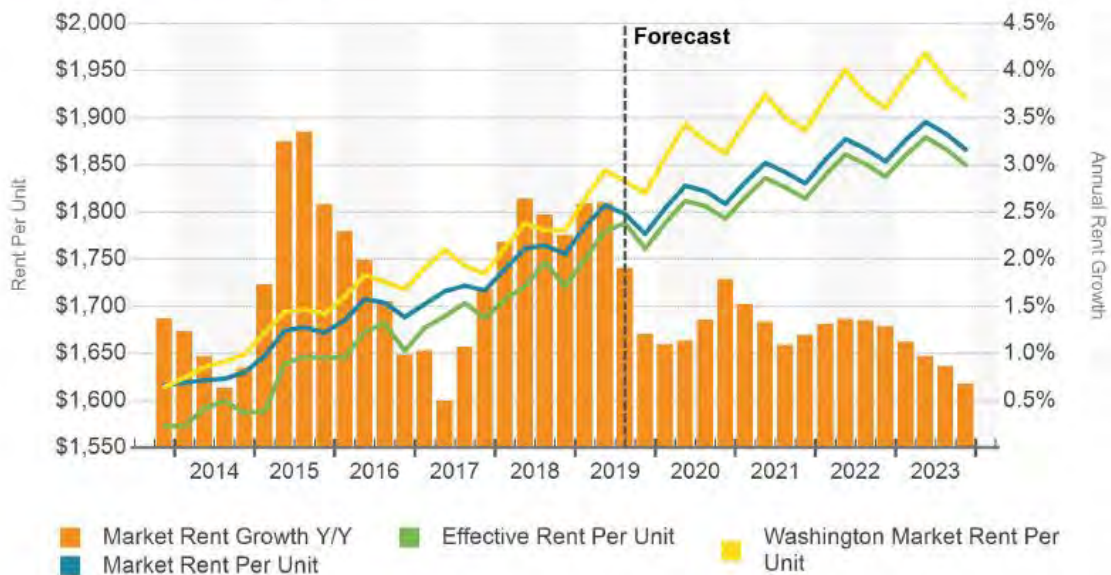
ABSORPTION, NET DELIVERIES & VACANCY



Source: CoStar, December 2019

Vacancy in the submarket has historically remained below vacancy levels in the Washington DC metro area. The vacancy rate in the submarket is currently 5.4 percent. Vacancy levels are expected to increase in 2020 and level out to an average of 5.7 percent over the next five years. However, the vacancy rate is expected to remain below that of the Washington DC metro area.

MARKET RENT PER UNIT & RENT GROWTH



Source: CoStar, December 2019

Asking rent growth is illustrated in the orange bars in the previous chart. According to Costar, asking rent growth in the submarket was 1.2 percent over the past 12 months. Over the next five years, asking rent growth in the submarket is expected to average 1.1 percent.

Age of Housing Stock

The following table illustrate the age of the existing housing stock in the PMA.

	HOUSING STOCK BY YEAR BUILT					
	PMA		Washington-Arlington-Alexandria, DC-VA-MD-WV MSA		USA	
Built 2005 or later	1,262	3.5%	68,834	3.0%	3,112,243	2.3%
Built 2000 to 2004	4,744	13.3%	349,750	15.3%	19,663,902	14.7%
Built 1990 to 1999	3,779	10.6%	337,334	14.7%	18,945,953	14.1%
Built 1980 to 1989	4,422	12.4%	373,757	16.3%	18,399,296	13.7%
Built 1970 to 1979	4,428	12.4%	338,545	14.8%	20,920,173	15.6%
Built 1960 to 1969	4,058	11.4%	282,718	12.3%	14,577,264	10.9%
Built 1950 to 1959	4,309	12.1%	223,309	9.8%	14,229,384	10.6%
Built 1940 to 1949	5,344	15.0%	118,021	5.2%	6,903,420	5.1%
Built 1939 or earlier	3,256	9.1%	197,478	8.6%	17,451,760	13.0%
Total Housing Units	35,602	100.0%	2,289,746	100.0%	134,203,395	100.0%

Source: US Census American Community Estimates, February 2020

As illustrated in the previous table, the majority of the housing stock in the Subject’s PMA was built between 1940 and 1990.

Substandard Housing

The following table illustrates the percentage of housing units that are considered substandard.

Year	SUBSTANDARD HOUSING		
	PMA	Washington-Arlington-Alexandria, DC-VA-MD-WV MSA	USA
	<i>Percentage</i>	<i>Percentage</i>	<i>Percentage</i>
2019	1.61%	1.12%	1.70%

Source: Esri Demographics 2019, Novogradac Consulting LLP, February 2020

The percentage of residents living in substandard housing in the PMA is above that of the MSA and below the nation.

Building Permits

The following table depicts building activity from 2000 through October 2019 for Arlington County.

BUILDING PERMITS: ARLINGTON COUNTY 2000 - 2019*				
Year	Single-family and Duplex	Three and Four-Family	Five or More Family	Total Units
2000	81	0	730	811
2001	171	0	749	920
2002	17	0	0	17
2003	7	0	0	7
2004	184	0	1,090	1,274
2005	166	12	1,097	1,275
2006	203	0	2,757	2,960
2007	151	0	1,970	2,121
2008	119	3	1,057	1,179
2009	156	0	458	614
2010	286	0	589	875
2011	193	0	1,752	1,945
2012	158	0	2,049	2,207
2013	204	0	730	934
2014	229	0	1,931	2,160
2015	245	0	407	652
2016	382	0	1,532	1,914
2017	184	0	2,700	2,884
2018	452	0	5,096	5,548
2019*	125	0	1,011	1,136
Total	3,713	15	27,705	31,433
Average*	189	1	1,405	1,595

*YTD, preliminary

Source: US Census Bureau Building Permits, February 2020

As illustrated in the previous table, approximately 88.1 percent of the residential building permits issued in the Arlington County over the past 19 years are multifamily permits. The rate of development of multifamily structures within the county significantly increased between 2017 and 2018.

Rent/Buy Analysis

We performed a rent/buy analysis. Our inputs assume a three-bedroom single-family home listing on www.zillow.com in the Subject's neighborhood with a purchase price of \$425,000 and an interest rate of 3.66 percent for a 30-year fixed mortgage with a 10 percent down payment. This was compared to the cost to rent the Subject's three-bedroom unit. This analysis indicates that with a monthly differential of \$981, it is more affordable to rent than to purchase a home. This indicates that the Subject will face limited competition with home ownership at current interest rate levels. The rent buy analysis is illustrated in the following table.

RENT BUY ANALYSIS			
Property Type:	Three-Bedroom Single Family Home		
Sale Price	\$425,000		
Down Payment at 10%	\$42,500		
Mortgage Amount	\$382,500		
Current Interest Rate	3.66%		
<i>Homeownership Costs</i>		<i>Monthly</i>	<i>% of Home Value</i>
Mortgage Payment	\$1,752		\$21,023
Property Taxes	\$443	1.25%	\$5,313
Private Mortgage Insurance ¹	\$159	0.50%	\$1,913
Maintenance	\$708	2.00%	\$8,500
Utility Costs ²	\$89		\$1,068
Tax Savings	-\$400		-\$4,798
Cost Comparison			
	<i>Monthly</i>	<i>Annual</i>	
Costs of Homeownership	\$2,752	\$33,018	
Cost of Renting At Subject	- \$1,771	\$21,252	
Differential	\$981	\$11,766	
Cost of Occupancy			
<i>Homeownership</i>			
Closing Costs		3.0%	\$12,750
Down Payment at 10%		10.0%	\$42,500
Total			\$55,250
<i>Subject Rental</i>			
First Month's Rent	\$1,771		
Security Deposit	<u>\$1,771</u>		
Total	\$3,542		

(1) Based upon 0.50 percent of mortgage amount.

(2) Utility Costs Included in Rent at Subject

As illustrated, the “cash due at occupancy” category adds to more than \$55,000 for the down payment and closing costs. The cash necessary for homeownership is still a barrier to many families. In general, first-time homebuyers have difficulty saving for a down payment. Further, renting at the Subject is more affordable than purchasing even a modest single-family home in the Subject’s area. For this reason, we believe that the Subject will face limited competition from homeownership.

SURVEY OF COMPARABLE PROPERTIES

Comparable properties are examined on the basis of physical characteristics; i.e., building type, building age/quality, the level of common amenities, absorption rates, and similarity in rent structure. We attempted to compare the Subject to properties from the competing market, in order to provide a picture of the general economic health and available supply in the market.

Description of Property Types Surveyed/Determination of Number of Tax Credit Units

To evaluate the competitive position of the Subject, 1,604 units in 11 rental properties were surveyed in depth. The availability of LIHTC data is considered excellent. We included six LIHTC comparables, all of which are located in the PMA. The availability of market rate data is also considered excellent. We included six market rate comparables, five of which are located within the PMA. Quinton Arms Apartments is located just outside the PMA. All of the comparables are located within 1.1 miles of the Subject. Overall, we believe the availability of data is adequate to support our conclusions.

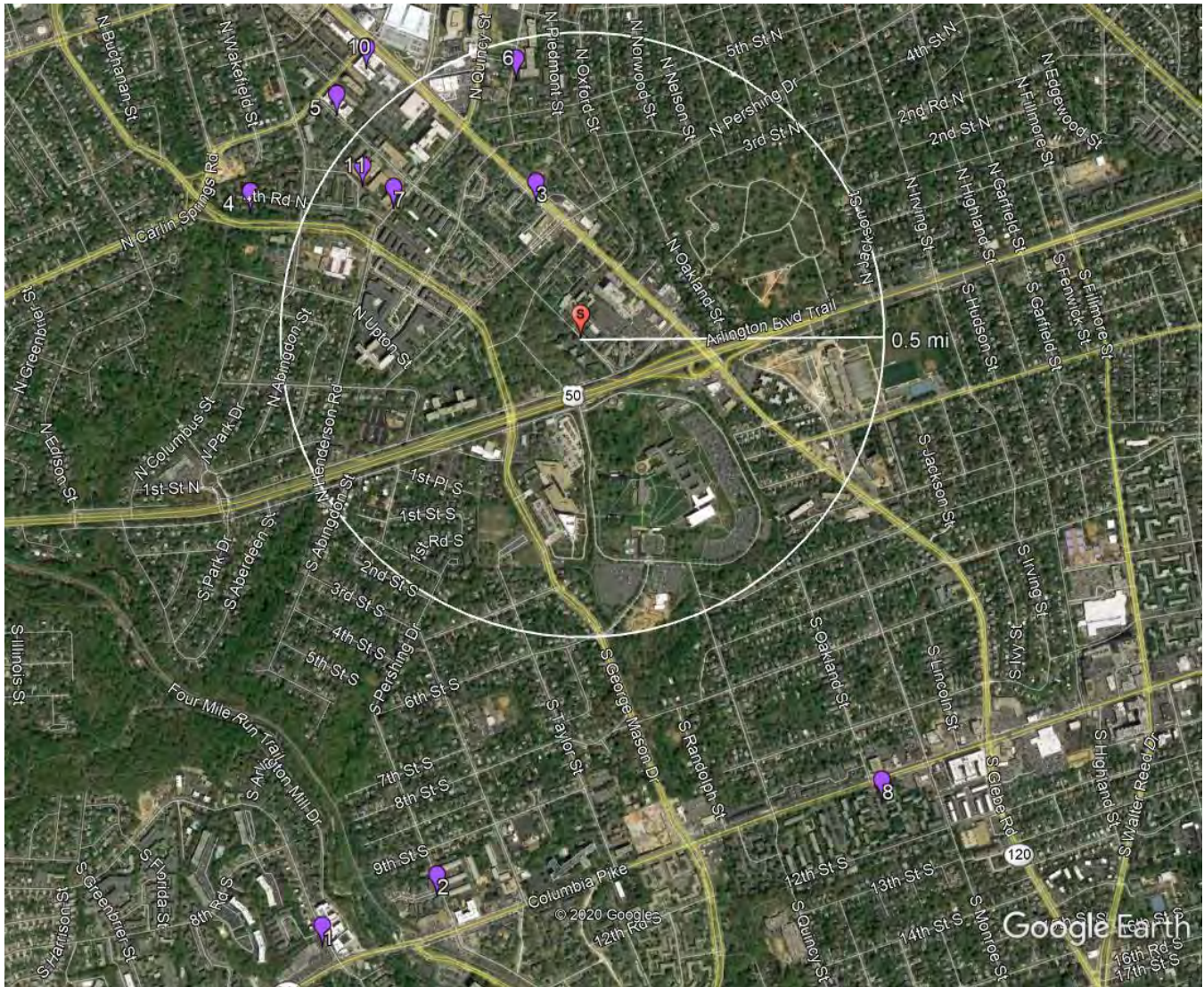
Excluded properties include, but are not limited to the properties located in the following table. Note that we included all of the LIHTC properties within the PMA in the demand analysis.

EXCLUDED PROPERTIES

Property Name	Rent Structure	Tenancy	Reason for Exclusion
Arbor Heights Apartments	LIHTC	Family	Unable to contact via phone or in person
Buckingham Village Parcel B	LIHTC	Family	Unable to contact via phone or in person
Buckingham Village Phase III	LIHTC	Family	Unable to contact via phone or in person
Clarendon Court Apartments	LIHTC, Market	Family	Unable to contact via phone or in person
Cleveland Cheshire Home	Section 8	Senior	Subsidized, differing tenancy
Culpepper Gardens	LIHTC, Section 8	Senior	Differing tenancy
East Falls	LIHTC	Family	Unable to contact
Elmwood House	Section 8	Senior	Subsidized, differing tenancy
Fields of Arlington	LIHTC, Market	Family	Differing location
Gates of Ballston	LIHTC, Market	Family	Unable to contact via phone or in person
Glenayr Apartments	Market	Family	Unable to contact via phone or in person
Harvey Hall	LIHTC, Market	Family	Unable to contact via phone or in person
Hollybrooke II	LIHTC	Family	Unable to contact via phone or in person
Hollybrooke III	LIHTC	Family	Unable to contact via phone or in person
Key Gardens	LIHTC, Market	Family	Unable to contact via phone or in person
Knightsbridge Apartments	Section 8	Family	Subsidized
Lockwood House	Section 8	Family	Subsidized
Madison At Ballston Station	LIHTC, Market	Family	Unable to contact via phone or in person
Monterey Apartments	LIHTC	Family	Unable to contact via phone or in person
Patrick Henry Apartments	LIHTC	Family	Unable to contact via phone or in person
Quebec Apartments	LIHTC, Market	Family	Unable to contact via phone or in person
Randolph Towers	Market	Family	Differing design
Serrano Apartments	LIHTC, Market	Family	Unable to contact via phone or in person
Sheffield Court Apartments	Market	Family	Unable to contact via phone or in person
South 7th Street Group Home	Section 8	Senior	Subsidized, differing tenancy
The Amelia	Market	Family	Differing condition
The Carlin	LIHTC	Senior	Differing tenancy
The Shell	LIHTC	Family	Differing condition
The View at Liberty Center	Market	Family	Differing design
Woodland Hill	Section 8	Senior	Subsidized, differing tenancy

Detailed matrices describing the individual competitive properties, as well as the proposed Subject, are provided in the addenda of this report. A map illustrating the location of the Subject in relation to the comparable properties follows.

Comparable Rental Property Map



Source: Google Earth, February 2020

COMPARABLE PROPERTIES

#	Comparable Property	City	Rent Structure	Tenancy	Distance to Subject
S	Whitefield Commons	Arlington	@50%, @60%, Market	Family	-
1	Arlington Mill Residences	Arlington	@30% (Section 8), @50%, @60%	Family	1.1 miles
2	Buchanan Gardens	Arlington	@50%, @60%	Family	0.9 miles
3	Historic Ballston Park Apartments	Arlington	@60%, Market	Family	0.3 miles
4	The Jordan	Arlington	@50%, @60%	Family	0.6 miles
5	The Springs Apartments	Arlington	@40%, @50%, @60%, Market	Family	0.6 miles
6	Birchwood Apartments	Arlington	Market	Family	0.5 miles
7	Henderson Park	Arlington	Market	Family	0.4 miles
8	Oakland Apartments	Arlington	Market	Family	0.9 miles
9	Quinton Arms Apartments	Arlington	Market	Family	1.0 miles
10	The Maxwell	Arlington	Market	Family	0.6 miles
11	Thomas Court	Arlington	Market	Family	0.5 miles

WHITEFIELD COMMONS – ARLINGTON, VIRGINIA – MARKET STUDY

SUMMARY MATRIX

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Whitefield Commons 106 North Thomas Street Arlington, VA 22203 Arlington County	-	Garden 3-stories 1944 / 2005 Family	@50%, @60%, Market	1BR / 1BA	17	25.0%	735	@50%	\$1,058	No	N/A	N/A	N/A
					1BR / 1BA	13	19.1%	735	@60%	\$1,286	No	N/A	N/A	N/A
					2BR / 1.5BA	16	23.5%	860	@50%	\$1,264	No	N/A	N/A	N/A
					2BR / 1.5BA	19	27.9%	860	@60%	\$1,537	No	N/A	N/A	N/A
					2BR / 1.5BA	1	1.5%	860	Market	\$1,638	N/A	N/A	N/A	N/A
					3BR / 2BA	1	1.5%	975	@50%	\$1,452	No	N/A	N/A	N/A
					3BR / 2BA	1	1.5%	975	@60%	\$1,771	No	N/A	N/A	N/A
					68							N/A	N/A	
1	Arlington Mill Residences 909 South Dinwiddie Street Arlington, VA 22204 Arlington County	1.1 miles	Midrise 4-stories 2014 / n/a Family	@30% (Section 8), @50%, @60%	0BR / 1BA	8	6.6%	422	@30% (Section 8)	-	N/A	Yes	0	0.0%
					1BR / 1BA	1	0.8%	642	@30% (Section 8)	-	N/A	Yes	0	0.0%
					1BR / 1BA	7	5.7%	642	@50%	\$1,055	Yes	Yes	0	0.0%
					1BR / 1BA	8	6.6%	642	@60%	\$1,282	Yes	Yes	0	0.0%
					2BR / 1.5BA	3	2.5%	986	@30% (Section 8)	-	N/A	Yes	0	0.0%
					2BR / 1.5BA	13	10.7%	986	@50%	\$1,261	Yes	Yes	0	0.0%
					2BR / 1.5BA	56	45.9%	986	@60%	\$1,534	Yes	Yes	0	0.0%
					3BR / 2BA	1	0.8%	1,087	@30% (Section 8)	-	N/A	Yes	0	0.0%
					3BR / 2BA	9	7.4%	1,087	@50%	\$1,453	Yes	Yes	0	0.0%
					3BR / 2BA	16	13.1%	1,087	@60%	\$1,768	Yes	Yes	0	0.0%
										122				
2	Buchanan Gardens 914 South Buchanan Street Arlington, VA 22204 Arlington County	0.9 miles	Garden 3-stories 1949 / 2012 Family	@50%, @60%	1BR / 1BA	24	21.6%	451	@50%	\$1,059	Yes	Yes	0	0.0%
					1BR / 1BA	31	27.9%	451	@60%	\$1,286	Yes	Yes	0	0.0%
					2BR / 1BA	33	29.7%	850	@60%	\$1,541	Yes	Yes	0	0.0%
					3BR / 1BA	23	20.7%	1,200	@60%	\$1,777	Yes	Yes	0	0.0%
										111				
3	Historic Ballston Park Apartments 351 N. Glebe Road Arlington, VA 22203 Arlington County	0.3 miles	Various 2-stories 1930 / 1996 Family	@60%, Market	0BR / 1BA	N/A	N/A	490	@60%	\$1,175	Yes	Yes	0	N/A
					0BR / 1BA	N/A	N/A	490	Market	\$1,565	N/A	Yes	0	N/A
					1BR / 1BA	N/A	N/A	680	@60%	\$1,267	Yes	Yes	0	N/A
					1BR / 1BA	N/A	N/A	680	Market	\$1,615	N/A	Yes	0	N/A
					2BR / 1BA	N/A	N/A	900	@60%	\$1,553	Yes	Yes	0	N/A
					2BR / 1BA	N/A	N/A	900	Market	\$2,300	N/A	Yes	0	N/A
					2BR / 1BA	N/A	N/A	900	Market	\$2,995	N/A	Yes	0	N/A
					3BR / 1BA	6	1.2%	1,300	Market	\$3,185	N/A	Yes	0	0.0%
					512						0	0.0%		
4	The Jordan 801 N Wakefield Street Arlington, VA 22203 Arlington County	0.6 miles	Midrise 4-stories 2011 / n/a Family	@50%, @60%	1BR / 1BA	1	1.1%	498	@50%	\$1,105	Yes	No	0	0.0%
					1BR / 1BA	2	2.2%	549	@50%	\$1,105	Yes	No	0	0.0%
					1BR / 1BA	2	2.2%	498	@60%	\$1,332	Yes	No	0	0.0%
					1BR / 1BA	9	10.0%	549	@60%	\$1,332	Yes	No	0	0.0%
					1BR / 1BA	3	3.3%	647	@60%	\$1,332	Yes	No	0	0.0%
					2BR / 1BA	8	8.9%	742	@50%	\$1,346	Yes	No	0	0.0%
					2BR / 1BA	1	1.1%	835	@50%	\$1,346	Yes	No	0	0.0%
					2BR / 1BA	8	8.9%	742	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 1BA	3	3.3%	835	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 2BA	5	5.6%	832	@50%	\$1,311	Yes	No	0	0.0%
					2BR / 2BA	29	32.2%	832	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 2BA	14	15.6%	934	@60%	\$1,584	Yes	No	0	0.0%
					3BR / 2BA	1	1.1%	946	@50%	\$1,486	Yes	No	0	0.0%
3BR / 2BA	2	2.2%	946	@60%	\$1,802	Yes	No	0	0.0%					
3BR / 2BA	2	2.2%	1,028	@60%	\$1,802	Yes	No	0	0.0%					
					90						0	0.0%		
5	The Springs Apartments 555 North Thomas Street Arlington, VA 22203 Arlington County	0.6 miles	Midrise 5-stories 2016 / n/a Family	@40%, @50%, @60%, Market	0BR / 1BA	8	7.7%	396	@40%	\$828	Yes	Yes	0	0.0%
					0BR / 1BA	2	1.9%	396	@50%	\$1,040	Yes	Yes	0	0.0%
					1BR / 1BA	1	1.0%	583	@40%	\$872	Yes	Yes	0	0.0%
					1BR / 1BA	5	4.8%	583	@50%	\$1,100	Yes	Yes	0	0.0%
					1BR / 1BA	2	1.9%	583	@60%	\$1,327	Yes	Yes	0	0.0%
					1BR / 1BA	1	1.0%	583	Market	\$1,724	N/A	Yes	0	0.0%
					2BR / 1.5BA	1	1.0%	798	@40%	\$1,028	Yes	Yes	0	0.0%
					2BR / 1.5BA	21	20.2%	798	@50%	\$1,301	Yes	Yes	0	0.0%
					2BR / 1.5BA	37	35.6%	798	@60%	\$1,574	Yes	Yes	0	0.0%
					2BR / 1.5BA	4	3.9%	798	Market	\$1,950	N/A	Yes	0	0.0%
					3BR / 2BA	1	1.0%	1,002	@40%	\$1,160	Yes	Yes	0	0.0%
3BR / 2BA	6	5.8%	1,002	@50%	\$1,475	Yes	Yes	0	0.0%					
3BR / 2BA	14	13.5%	1,002	@60%	\$1,791	Yes	Yes	0	0.0%					
3BR / 2BA	1	1.0%	1,002	Market	\$2,341	N/A	Yes	0	0.0%					
					104						0	0.0%		
6	Birchwood Apartments 525 North Pollard Street Arlington, VA 22203 Arlington County	0.5 miles	Midrise 4-stories 2010 / n/a Family	Market	1BR / 1BA	34	35.1%	794	Market	\$2,135	N/A	No	0	0.0%
					2BR / 2BA	38	39.2%	1,068	Market	\$2,715	N/A	No	0	0.0%
					3BR / 3BA	25	25.8%	1,179	Market	\$3,434	N/A	No	0	0.0%
										97				
7	Henderson Park 4301 North Henderson Road Arlington, VA 22203 Arlington County	0.4 miles	Midrise 4-stories 2014 / n/a Family	Market	1BR / 1BA	12	18.2%	680	Market	\$1,995	N/A	No	0	0.0%
					2BR / 2BA	15	22.7%	1,100	Market	\$2,775	N/A	No	0	0.0%
					3BR / 2BA	33	50.0%	1,100	Market	\$3,145	N/A	No	1	3.0%
					3BR / 2.5BA	6	9.1%	1,330	Market	\$3,385	N/A	No	0	0.0%
					66					1	1.5%			
8	Oakland Apartments 3710 Columbia Pike Arlington, VA 22204 Arlington County	0.9 miles	Garden 3-stories 1956 / 2013 Family	Market	0BR / 1BA	44	18.0%	400	Market	\$1,088	N/A	No	0	0.0%
					0BR / 1BA	N/A	N/A	400	Market	\$1,098	N/A	No	0	N/A
					0BR / 1BA	N/A	N/A	400	Market	\$1,078	N/A	No	0	N/A
					1BR / 1BA	79	32.2%	600	Market	\$1,260	N/A	No	0	0.0%
					1BR / 1BA	N/A	N/A	600	Market	\$1,322	N/A	No	0	N/A
					1BR / 1BA	N/A	N/A	600	Market	\$1,197	N/A	No	0	N/A
					2BR / 1BA	80	32.7%	900	Market	\$1,585	N/A	No	0	0.0%
					2BR / 1BA	N/A	N/A	900	Market	\$1,615	N/A	No	0	N/A
					2BR / 1BA	N/A	N/A	900	Market	\$1,555	N/A	No	0	N/A
					3BR / 1BA	42	17.1%	1,200	Market	\$1,866	N/A	No	0	0.0%
3BR / 1BA	N/A	N/A	1,200	Market	\$1,881	N/A	No	0	N/A					
3BR / 1BA	N/A	N/A	1,200	Market	\$1,851	N/A	No	0	N/A					
					245						0	0.0%		
9	Quinton Arms Apartments 4020 Washington Boulevard Arlington, VA 22201 Arlington County	1.0 miles	Midrise 5-stories 1961 / n/a Family	Market	0BR / 1BA	9	20.0%	542	Market	\$1,502	N/A	No	0	0.0%
					1BR / 1BA	18	40.0%	695	Market	\$1,610	N/A	No	0	0.0%
					2BR / 1BA	18	40.0%	935	Market	\$2,216	N/A	No	0	0.0%
					45						0	0.0%		
10	The Maxwell 4200 North Carlin Springs Road Arlington, VA 22203 Arlington County	0.6 miles	Midrise 6-stories 2014 / n/a Family	Market	0BR / 1BA	48	29.5%	603	Market	\$2,074	N/A	No	0	0.0%
					1BR / 1BA	94	57.7%	688	Market	\$2,232	N/A	No	0	0.0%
					2BR / 1BA	10	6.1%	881	Market	\$2,820	N/A	No	0	0.0%
					2BR / 2BA	11	6.8%	1,014	Market	\$3,049	N/A	No	1	9.1%
										163				
11	Thomas Court 470 North Thomas Court Arlington, VA 22203 Arlington County	0.5 miles	Midrise 4-stories 2012 / n/a Family	Market	1BR / 1BA	6	12.2%	802	Market	\$1,925	N/A	No	0	0.0%
					1BR / 2BA	21	42.9%	946	Market	\$2,455	N/A	No	0	0.0%
					2BR / 1BA	10	20.4%	946	Market	\$2,495	N/A	No	0	0.0%
					2BR / 2BA	10	20.4%	1,064	Market	\$2,695	N/A	No	0	0.0%
					3BR / 3BA	1	2.0%	1,433	Market	\$3,375	N/A	No	0	0.0%
					3BR / 3BA	1	2.0%	1,612	Market	\$3,675	N/A	No	0	0.0%
					49						0	0.0%		

Location

LOCATION COMPARISON SUMMARY

#	Property Name	City	Rent Structure	Distance to Subject	Household Income	Median Home Value	Median Rent	Crime Index	Walk Score	Transit Score	Vacant Housing	% Renter HH
S	Whitefield Commons	Arlington	LIHTC/Market	-	\$75,296	\$583,300	\$2,024	99	75	58	4.4%	63.6%
1	Arlington Mill Residences	Arlington	LIHTC/Section 8	1.1 miles	\$63,192	\$479,400	\$1,542	64	76	59	7.0%	56.8%
2	Buchanan Gardens	Arlington	LIHTC	0.9 miles	\$65,565	\$479,400	\$1,542	66	77	58	9.1%	54.2%
3	Historic Ballston Park Apartments	Arlington	LIHTC/Market	0.3 miles	\$96,856	\$583,300	\$2,024	116	91	59	6.1%	71.1%
4	The Jordan	Arlington	LIHTC	0.6 miles	\$103,708	\$583,300	\$2,024	130	74	59	6.6%	57.5%
5	The Springs Apartments	Arlington	LIHTC/Market	0.6 miles	\$108,476	\$583,300	\$2,024	137	92	75	6.9%	64.6%
6	Birchwood Apartments	Arlington	Market	0.5 miles	\$107,998	\$583,300	\$2,024	133	88	74	6.9%	67.3%
7	Henderson Park	Arlington	Market	0.4 miles	\$91,469	\$583,300	\$2,024	132	84	60	8.1%	65.1%
8	Oakland Apartments	Arlington	Market	0.9 miles	\$93,295	\$479,400	\$1,542	80	82	61	5.8%	56.1%
9	Quinton Arms Apartments	Arlington	Market	1.0 miles	\$120,920	\$636,500	\$2,094	144	92	76	7.3%	63.0%
10	The Maxwell	Arlington	Market	0.6 miles	\$109,004	\$583,300	\$2,024	137	94	76	6.7%	65.3%
11	Thomas Court	Arlington	Market	0.5 miles	\$100,591	\$583,300	\$2,024	132	86	73	6.7%	66.0%

The property is located in a mixed-use neighborhood in Buckingham. Buckingham is a community district located in the central portion of Arlington County. Buckingham is located west of North Glebe Street and North of Arlington Boulevard. The property’s neighborhood consists of single-family homes in average condition, multifamily apartments in average condition, and retail/commercial uses. Weaknesses of the Subject’s location include a low median household income level. The Subject’s location is designated 'Very Walkable' by Walk Score with a score of 75, indicating most errands can be accomplished on foot.

All of the comparable properties are located outside of the Subject’s neighborhood. The majority of the comparables have locations with higher household incomes as compared to the Subject’s location. However, the Subject’s location has among the highest median home values and median rents. Quinton Arms Apartments is located just outside the PMA and has a location with a significantly higher household income, median home value, and median rent as compared to the Subject. Quinton Arms Apartments is located within two blocks of a Metro station. The remaining comparables are located farther from Metro stations.

Overall, we considered the Subject’s location to be slightly inferior to Quinton Arms Apartments, slightly superior to Arlington Mill Residences, Buchanan Gardens, and Oakland Apartments, and similar to the remaining comparables.

Age, Condition, and Design

The following table illustrates the Subject’s design and condition in comparison to the comparable properties.

	Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court
Rent Structure	LIHTC	LIHTC/Section 8	LIHTC	LIHTC/Market	LIHTC	LIHTC/Market	Market	Market	Market	Market	Market	Market
Building												
Property Type	Garden	Midrise	Garden	Various	Midrise	Midrise	Midrise	Midrise	Garden	Midrise	Midrise	Midrise
# of Stories	3-stories	4-stories	3-stories	2-stories	4-stories	5-stories	4-stories	4-stories	3-stories	5-stories	6-stories	4-stories
Year Built	1944	2014	1949	1930	2011	2016	2010	2014	1956	1961	2014	2012
Year Renovated	2005/2021	n/a	2012	1996	n/a	n/a	n/a	n/a	2013	n/a	n/a	n/a
Elevators	no	yes	no	no	yes	yes	yes	yes	no	yes	yes	yes
Courtyard	no	no	no	yes	yes	yes	no	yes	no	no	yes	yes

The Subject will be newly renovated and in good condition upon completion. The LIHTC comparable properties were built or renovated between 1996 and 2016, and the market rate comparables were built or renovated between 1961 and 2014. Arlington Mill Residences, The Maxwell, The Jordan, The Springs Apartments,

Birchwood Apartments, Henderson Park, and Thomas Court were built between 2010 and 2016 and exhibit excellent condition, slightly superior to the newly renovated Subject. Buchanan Gardens and Oakland Apartments were built between 1949 and 1956 and renovated between 2012 and 2013, exhibiting good condition, similar to the Subject. The remaining comparables exhibit average condition, slightly inferior to the Subject.

The Subject offers a three-story garden-style design, similar to two of the comparables, Buchanan Gardens and Oakland Apartments. Historic Ballston Park Apartments offers garden-style and townhouse units. However, only market rate units are townhouses at this property. The remaining comparables are elevator-serviced midrise buildings, and are considered superior in design to the Subject.

Unit Size

The following table summarizes unit sizes in the market area, and provides a comparison of the Subject’s unit size and the surveyed average unit sizes in the market.

UNIT SIZE COMPARISON

Bedroom Type	1BR	2BR	3BR
Subject	750	880	1,087
Average	627	899	1,147
Min	451	742	946
Max	946	1,100	1,612
Advantage/Disadvantage	20%	-2%	-5%

The property’s one-bedroom units are larger in size to the average of the surveyed comparable properties. The Subject’s two and three-bedroom units are slightly inferior in size to the average of the surveyed comparable properties. At the time of our inspection, the property was fully occupied. Furthermore, all of the comparable properties currently operate with very low vacancy. The property’s unit sizes appear to be well accepted in the market. The property’s unit sizes are considered in our determination of achievable rents. The following table ranks the property’s unit sizes to the unit sizes at the comparable properties.

SQUARE FOOTAGE RANKING COMPARISON

One Bedroom One Bath		Two Bedroom One Bath		Three Bedroom Two Bath	
Property Name	Size	Property Name	Size	Property Name	Size
Thomas Court (Market)(2BA)	946	Henderson Park (Market)(2BA)	1,100	Thomas Court (Market)(3BA)	1,612
Thomas Court (Market)	802	Birchwood Apartments (Market)(2BA)	1,068	Thomas Court (Market)(3BA)	1,433
Birchwood Apartments (Market)	794	Thomas Court (Market)(2BA)	1,064	Henderson Park (Market)(2.5BA)	1,330
Whitefield Commons (@60%)	750	The Maxwell (Market)(2BA)	1,014	Historic Ballston Park Apartments (Market)(1BA)	1,300
Whitefield Commons (@50%)	750	Arlington Mill Residences (@50%)(1.5BA)	986	Buchanan Gardens (@60%)(1BA)	1,200
Quinton Arms Apartments (Market)	695	Arlington Mill Residences (@60%)(1.5BA)	986	Oakland Apartments (Market)(1BA)	1,200
The Maxwell (Market)	688	Arlington Mill Residences (@30%)(1.5BA)	986	Birchwood Apartments (Market)(3BA)	1,179
Henderson Park (Market)	680	Thomas Court (Market)	946	Henderson Park (Market)	1,100
Historic Ballston Park Apartments (@60%)	680	Quinton Arms Apartments (Market)	935	Arlington Mill Residences (@30%)	1,087
Historic Ballston Park Apartments (Market)	680	The Jordan (@60%)(2BA)	934	Arlington Mill Residences (@50%)	1,087
The Jordan (@60%)	647	Historic Ballston Park Apartments (Market)	900	Whitefield Commons (@50%)	1,087
Arlington Mill Residences (@60%)	642	Historic Ballston Park Apartments (Market)	900	Arlington Mill Residences (@60%)	1,087
Arlington Mill Residences (@30%)	642	Historic Ballston Park Apartments (@60%)	900	Whitefield Commons (@60%)	1,087
Arlington Mill Residences (@50%)	642	Oakland Apartments (Market)	900	The Jordan (@60%)	1,028
Oakland Apartments (Market)	600	The Maxwell (Market)	881	The Springs Apartments (@50%)	1,002
The Springs Apartments (@40%)	583	Whitefield Commons (@60%)	880	The Springs Apartments (Market)	1,002
The Springs Apartments (@60%)	583	Whitefield Commons (@50%)	880	The Springs Apartments (@40%)	1,002
The Springs Apartments (Market)	583	Buchanan Gardens (@60%)	850	The Springs Apartments (@60%)	1,002
The Springs Apartments (@50%)	583	The Jordan (@50%)	835	The Jordan (@60%)	946
The Jordan (@60%)	549	The Jordan (@60%)	835	The Jordan (@50%)	946
The Jordan (@50%)	549	The Jordan (@60%)(2BA)	832		
The Jordan (@50%)	498	The Jordan (@50%)(2BA)	832		
The Jordan (@60%)	498	The Springs Apartments (Market)(1.5BA)	798		
Buchanan Gardens (@60%)	451	The Springs Apartments (@50%)(1.5BA)	798		
Buchanan Gardens (@50%)	451	The Springs Apartments (@60%)(1.5BA)	798		
		The Springs Apartments (@40%)(1.5BA)	798		
		The Jordan (@50%)	742		
		The Jordan (@60%)	742		

Utility Structure

The following table details the Subject’s utility structure in comparison to the comparable properties. The utility conventions differ at the comparable properties; therefore, we have adjusted “base” or “asking” rents of the comparable properties to “net” rents, reflecting the Subject’s utility convention.

Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court
LIHTC	LIHTC/ Section 8	LIHTC	LIHTC/ Market	LIHTC	LIHTC/ Market	Market	Market	Market	Market	Market	Market
Utility Structure											
Cooking	no	no	no	no	yes	no	no	yes	yes	no	no
Water Heat	no	no	no	no	no	no	no	yes	yes	no	no
Heat	no	no	no	no	no	no	no	yes	yes	no	no
Other Electric	no	no	no	no	no	yes	no	no	yes	no	no
Water	yes	yes	yes	yes	no	yes	no	yes	yes	yes	yes
Sewer	yes	yes	yes	yes	no	yes	no	yes	yes	yes	yes
Trash	yes	yes	yes	yes	yes	yes	no	yes	yes	yes	yes

In-Unit Amenities

The following table compares the Subject’s in-unit amenities with comparable properties.

Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court	
LIHTC	LIHTC/ Section 8	LIHTC	LIHTC/ Market	LIHTC	LIHTC/ Market	Market	Market	Market	Market	Market	Market	
Unit Amenities												
Balcony/Patio	no	yes	no	yes	yes	no	yes	yes	no	yes	yes	no
Blinds	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Carpeting	no	yes	yes	yes	yes	yes	yes	yes	no	no	yes	
Hardwood	yes	no	yes	no	no	no	no	no	yes	yes	no	
Central A/C	yes	yes	yes	yes	yes	yes	yes	no	yes	yes	yes	
Ceiling Fan	no	yes	yes	yes	no	yes	no	yes	no	no	no	
Coat Closet	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	
Exterior Storage	no	no	no	yes	no	no	yes	yes	yes	yes	yes	
Walk-In Closet	no	no	no	yes	yes	no	yes	yes	no	yes	yes	
Wall A/C	no	no	no	no	no	no	no	yes	no	no	no	
Washer/Dryer	no	no	no	yes	no	no	yes	yes	no	yes	yes	
W/D Hookup	no	no	no	yes	no	yes	yes	no	yes	yes	yes	
Kitchen												
Dishwasher	no	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	
Disposal	yes	yes	yes	yes	yes	yes	no	yes	yes	yes	yes	
Microwave	no	yes	yes	yes	yes	no	yes	yes	no	yes	yes	
Oven	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	
Refrigerator	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	

Notable in-unit amenities the Subject offers include central air conditioning and garbage disposals. Garbage disposals will be added during renovations. The Subject’s on-site management office will be converted to apartments and management will operate out of the neighboring property, The Cadence. The majority of the surveyed comparables offer unit amenities ranging from slightly superior to superior relative to the Subject. These properties offer features such as dishwashers, microwaves, balconies/patios, walk-in closets, washer/dryer hook-ups, washer/dryers, and exterior storage, none of which are included in the Subject’s amenity scheme. The amenity package offered by Oakland Apartments is considered slightly superior to the Subject. This property offers features such as ceiling fans, exterior storage, and dishwashers which the Subject lacks, however, does not provide central air conditioning which the Subject does. Overall, we believe the Subject’s unit amenities will continue to be accepted in the market.

Property Amenities

The following table compares the Subject’s property amenities with comparable properties.

WHITEFIELD COMMONS – ARLINGTON, VIRGINIA – MARKET STUDY

Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park Apartments	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court	
Rent Structure	LHTC/ Market	LHTC/ Section 8	LHTC	LHTC/ Market	LHTC	LHTC/ Market	Market	Market	Market	Market	Market	
Community												
Business Center	yes	yes	no	no	yes	yes	no	yes	no	no	yes	yes
Community Room	yes	yes	yes	yes	yes	yes	yes	no	no	no	no	yes
Central Laundry	yes	yes	yes	yes	yes	no	no	yes	no	no	no	no
On-Site Mgmt	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Recreation												
Exercise Facility	no	yes	no	yes	no	yes	yes	yes	yes	yes	yes	yes
Playground	yes	yes	yes	yes	no	no	no	yes	no	no	no	no
Swimming Pool	no	no	no	yes	no	no	no	no	no	no	no	no
Picnic Area	yes	yes	no	no	yes	yes	no	yes	no	yes	yes	yes
Theatre	no	no	no	no	no	no	no	yes	no	no	no	no
Recreational Area	no	no	no	no	no	no	no	no	no	no	yes	yes
Adult Education	yes	no	no	no	no	no	no	no	no	no	no	no

Notable property amenities the Subject offers include a community room, business center, adult education and a playground. No additional property amenities will be added during renovations. The majority of the surveyed comparables offer property amenities ranging from slightly inferior to slightly superior relative to the Subject. The amenity packages of Buchanan Gardens, The Jordan, Birchwood Apartments, and Oakland Apartments offer features that are considered similar to the Subject. Several of the comparables offer a business center, and a fitness center. However, the Subject offers a playground, a picnic area, and adult education, which are not offered by several of the comparables. Overall, we believe the Subject's property amenities will continue to be accepted in the market.

Security Features

The following table compares the Subject's security amenities with comparable properties.

Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park Apartments	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court	
Rent Structure	LHTC/ Market	LHTC/ Section 8	LHTC	LHTC/ Market	LHTC	LHTC/ Market	Market	Market	Market	Market	Market	
Crime Risk Index	112	64	66	116	130	137	133	132	80	144	137	132
Security												
In-Unit Alarm	no	no	no	yes	no	no	no	no	no	no	no	no
Intercom (Buzzer)	no	yes	no	yes	yes	yes	yes	yes	yes	yes	yes	yes
Limited Access	no	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Video Surveillance	yes	no	no	no	no	no	yes	no	no	yes	yes	yes

According to ESRI Demographic data, crime risk indices in the Subject's location are similar to the national average. The Subject's security features include video surveillance. No additional security amenities will be added during renovations. All of the comparables offer some form of security amenities. Overall, the comparables security features range from similar to slightly superior compared to the Subject. We considered the Subject's security amenity in our determination of achievable rents.

Parking

The following table compares the Subject's parking amenities with comparable properties.

Subject	Arlington Mill Residences	Buchanan Gardens	Historic Ballston Park Apartments	The Jordan	The Springs Apartments	Birchwood Apartments	Henderson Park	Oakland Apartments	Quinton Arms Apartments	The Maxwell	Thomas Court	
Rent Structure	LHTC/ Market	LHTC/ Section 8	LHTC	LHTC/ Market	LHTC	LHTC/ Market	Market	Market	Market	Market	Market	
Walk Score	79	76	77	89	73	90	88	84	84	89	73	84
Parking Ratio	0.57	1.00	1.00	N/A	0.84	1.00	1.03	N/A	1.00	1.00	N/A	N/A
Parking												
Garage	no	yes	no	no	yes	yes	yes	yes	no	no	yes	yes
Garage Fee	\$0	\$25	\$0	\$0	\$100	\$35	\$70	\$50	\$0	\$0	\$100	\$50
Off-Street Parking	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes	yes
Off-Street Fee	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

The Subject currently offers 41 off-street parking spaces and an additional two spaces will be added during renovations for a total of 43 off-street parking spaces. Four of these spaces will be reserved for the proposed townhome condominium development that will be located adjacent to the Subject. Therefore, the Subject will offer a total of 39 off-street parking spaces for its tenants, or 0.6 space per unit, for no additional charge. Street parking is also available east of the Subject along North Thomas Street and west of the Subject on North Trenton Street. All of the comparable properties offer sufficient off-street parking and several offer garage parking for an additional fee ranging from \$25 to \$100 per month. The Subject's parking ratio is slightly less than what was observed in the market. We considered the Subject's parking offerings in our achievable

rent determination. We researched additional comparables in Alexandria and Arlington to determine parking ratios in the area.

PARKING ANALYSIS

Property Name	Location	Rent Structure	Total Units	No. of Spaces	Parking Ratio	Utilization	Monthly Fee
Fields of Alexandria	Alexandria	LIHTC	306	275	0.9	95%	\$0 surface
Fields of Arlington	Arlington	LIHTC, Market	199	250	1.3	90%	\$0 surface
Fields of Old Town	Alexandria	LIHTC	98	105	1.1	85%	\$0 surface
Fort Henry Gardens	Arlington	LIHTC	82	36	0.4	-	-
Gilliam Place	Arlington	LIHTC	173	205	1.2	-	-
Golden Gate Apartments	Alexandria	Market	184	150	0.8	-	-
Greenbrier Apartments	Arlington	Market	116	120	1.0	-	-
Halstead Tower	Alexandria	Market	173	200	1.2	85%	\$100 reserved garage
Harvey Hall Apartments	Arlington	LIHTC, Market	116	140	1.2	-	\$0 surface
Haven Columbia Pike	Arlington	Market	118	100	0.8	-	-
Hermitage Hill	Alexandria	Market	122	60	0.5	-	-
Infinity Apartments	Arlington	Market	227	230	1.0	-	-
IO Piazza by Windsor	Arlington	Market	244	360	1.5	-	-
Larchmont Village Apartment	Alexandria	Market	158	220	1.4	-	-
Macadonia Apartments	Arlington	LIHTC	36	38	1.1	85%	\$0 garage
Monterey Apartments	Arlington	LIHTC	109	80	0.7	-	-
Oakland Apartments	Arlington	Market	245	200	0.8	-	-
Parc View Apartments	Alexandria	LIHTC, Market	149	150	1.0	-	-
Park Shirlington Apartments	Arlington	Market	294	347	1.2	-	-
Quebec Apartments	Arlington	LIHTC, Market	172	55	0.3	95%	\$0 surface
Seminary Hill Apartments	Alexandria	Market	296	300	1.0	-	-
Seminary Towers	Alexandria	Market	544	400	0.7	85%	\$0 surface
Serrano Apartments	Arlington	LIHTC, Market	280	300	1.1	90%	\$0 surface
Spectrum Apartments	Arlington	Market	100	127	1.3	-	-
The Alexander	Alexandria	Market	276	60	0.2	95%	\$85 for unreserved garage spot, \$100 for
The Citizen At Shirlington Village	Arlington	Market	404	N/A	N/A	-	\$50 for first garage parking spot, \$100 for
The Harlowe Apartments	Arlington	Market	227	20	0.1	-	-

WHITEFIELD COMMONS – ARLINGTON, VIRGINIA – MARKET STUDY

PARKING ANALYSIS

Property Name	Location	Rent Structure	Total Units	No. of Spaces	Parking Ratio	Utilization	Monthly Fee
Fields of Alexandria	Alexandria	LIHTC	306	275	0.9	95%	\$0 surface
Fields of Arlington	Arlington	LIHTC, Market	199	250	1.3	90%	\$0 surface
Fields of Old Town	Alexandria	LIHTC	98	105	1.1	85%	\$0 surface
Fort Henry Gardens	Arlington	LIHTC	82	36	0.4	-	-
Gilliam Place	Arlington	LIHTC	173	205	1.2	-	-
Golden Gate Apartments	Alexandria	Market	184	150	0.8	-	-
Greenbrier Apartments	Arlington	Market	116	120	1.0	-	-
Halstead Tower	Alexandria	Market	173	200	1.2	85%	\$100 reserved garage
Harvey Hall Apartments	Arlington	LIHTC, Market	116	140	1.2	-	\$0 surface
Haven Columbia Pike	Arlington	Market	118	100	0.8	-	-
Hermitage Hill	Alexandria	Market	122	60	0.5	-	-
Infinity Apartments	Arlington	Market	227	230	1.0	-	-
IO Piazza by Windsor	Arlington	Market	244	360	1.5	-	-
Larchmont Village Apartment	Alexandria	Market	158	220	1.4	-	-
Macadonia Apartments	Arlington	LIHTC	36	38	1.1	85%	\$0 garage
Monterey Apartments	Arlington	LIHTC	109	80	0.7	-	-
Oakland Apartments	Arlington	Market	245	200	0.8	-	-
Parc View Apartments	Alexandria	LIHTC, Market	149	150	1.0	-	-
Park Shirlington Apartments	Arlington	Market	294	347	1.2	-	-
Quebec Apartments	Arlington	LIHTC, Market	172	55	0.3	95%	\$0 surface
Seminary Hill Apartments	Alexandria	Market	296	300	1.0	-	-
Seminary Towers	Alexandria	Market	544	400	0.7	85%	\$0 surface
Serrano Apartments	Arlington	LIHTC, Market	280	300	1.1	90%	\$0 surface
Spectrum Apartments	Arlington	Market	100	127	1.3	-	-
The Alexander	Alexandria	Market	276	60	0.2	95%	\$85 for unreserved garage spot, \$100 for
The Citizen At Shirlington Village	Arlington	Market	404	N/A	N/A	-	\$50 for first garage parking spot, \$100 for
The Harlowe Apartments	Arlington	Market	227	20	0.1	-	-
The Shell	Arlington	LIHTC	83	83	1.0	89%	\$50 garage
The Shelton	Arlington	LIHTC	94	24	0.3	100%	\$50 garage
The Whitmore	Arlington	Market	218	241	1.1	-	-
Town Square at Millbrook	Alexandria	Market	272	152	0.6	-	-
Twenty400	Arlington	Market	217	40	0.2	-	-
Virginia Gardens Apartments	Arlington	LIHTC, Market	61	80	1.3	-	-
Westmont Gardens Apartments	Arlington	Market	249	100	0.4	-	-
Wildwood Towers	Arlington	Market	134	130	1.0	-	-
Woodland Hill	Arlington	Section 8	235	60	0.3	-	-
St. James Plaza			93	70	0.8	53%	\$75 garage
Average			193	161	0.9	88%	

The parking ratios among the additional properties range from 0.1 to 1.7. The majority of comparables that offer surface parking do not charge an additional fee. Only one comparable, Avana Alexandria Apartments, charges a fee for surface parking. Avana Alexandria Apartments charges a fee of \$25 for surface parking. The remaining comparables that charge fees offer garage parking for prices ranging from \$25 to \$50 per space. At the time of our inspection, parking utilization at the Subject was approximately 60 percent, which accounts for approximately 25 spaces. The Subject will offer 39 parking spaces, which accounts for a parking ratio of 0.57 space per unit. Additionally, the Subject is located in a very walkable area with good access to public transportation. We do not believe the Subject’s limited parking will affect the property’s ability to maintain a vacancy rate of five percent or less as a LIHTC property. Gates of Ballston and is located in close proximity to the Subject but we were unable to contact them. We previously interviewed this property in January 2019 and it reported a vacancy rate of 1.1 percent, a waiting list, and achieving maximum allowable 2018 rents. This property offers 0.6 parking space per unit, and is generally similar to the Subject. Thus, we do not believe the Subject’s LIHTC rents will be impacted by the limited parking.

MARKET CHARACTERISTICS

Following are relevant market characteristics for the comparable properties surveyed.

Tenant Makeup

The following table illustrates voucher usage at the comparables.

TENANTS WITH VOUCHERS		
Property Name	Rent Structure	Housing Choice Voucher Tenants
Arlington Mill Residences	LIHTC/ Section 8	35%
Buchanan Gardens	LIHTC	25%
Historic Ballston Park Apartments	LIHTC/ Market	45%
The Jordan	LIHTC	14%
The Springs Apartments	LIHTC/ Market	10%
Birchwood Apartments	Market	0%
Henderson Park	Market	0%
Oakland Apartments	Market	1%
Quinton Arms Apartments	Market	0%
The Maxwell	Market	0%
Thomas Court	Market	0%

The LIHTC/mixed-income comparables reported voucher usage ranging from 10 to 45 percent, averaging 26 percent. Several of the market rate comparables do not accept vouchers. Based on the Subject’s rent roll dated January 3, 2020, 19 percent of tenants were utilizing vouchers. We believe the Subject will operate with 20 percent voucher tenancy.

Turnover

The following table illustrates reported turnover for the comparable properties.

TURNOVER

Property Name	Rent Structure	Annual Turnover
Arlington Mill Residences	LIHTC/ Section 8	5%
Buchanan Gardens	LIHTC	16%
Historic Ballston Park Apartments	LIHTC/ Market	13%
The Jordan	LIHTC	10%
The Springs Apartments	LIHTC/ Market	5%
Birchwood Apartments	Market	25%
Henderson Park	Market	25%
Oakland Apartments	Market	20%
Quinton Arms Apartments	Market	4%
The Maxwell	Market	20%
Thomas Court	Market	30%
Average Turnover		16%

Turnover rates at the LIHTC/mixed-income comparable properties range from five to 16 percent, averaging 10 percent. The market rate properties reported higher turnover rates ranging from four to 30 percent, averaging 21 percent. We believe the Subject will experience turnover of approximately 15 percent or less, similar to the LIHTC properties.

Vacancy Levels

The following table summarizes overall weighted vacancy levels at the surveyed properties.

OVERALL VACANCY

Property Name	Rent Structure	Total Units	Vacant Units	Vacancy Rate
Arlington Mill Residences	LIHTC/ Section 8	122	0	0.0%
Buchanan Gardens	LIHTC	111	0	0.0%
Historic Ballston Park Apartments	LIHTC/ Market	512	0	0.0%
The Jordan	LIHTC	90	0	0.0%
The Springs Apartments	LIHTC/ Market	104	0	0.0%
Birchwood Apartments	Market	97	0	0.0%
Henderson Park	Market	66	1	1.5%
Oakland Apartments	Market	245	0	0.0%
Quinton Arms Apartments	Market	45	0	0.0%
The Maxwell	Market	163	1	0.6%
Thomas Court	Market	49	0	0.0%
Total LIHTC		939	0	0.0%
Total Market Rate		665	2	0.3%
Overall Total		1,604	2	0.1%

The overall vacancy rate among the surveyed comparables is low at 0.1 percent. Only two of the comparable properties reported any vacancies in their units, both of which are market rate. As of the rent roll dated January 3, 2019, the Subject had two vacant units, which equates to a vacancy rate of 3.2 percent. According to historical financials, the Subject had a vacancy rate of 1.6 percent in 2016, 0.3 percent in 2017, 0.6 percent in 2018, and 1.3 percent in 2019 (not including collection loss). Given the reported low vacancy rates in the market, we expect the Subject to operate with a vacancy rate of five percent or less.

The following table details vacancy by bedroom type for the comparable properties surveyed:

VACANCY BY BEDROOM TYPE

Property Name	Rent Structure	OBR	1BR	2BR	3BR	Overall
Arlington Mill Residences	LIHTC/ Section 8	0.0%	0.0%	0.0%	0.0%	0.0%
Buchanan Gardens	LIHTC	-	0.0%	0.0%	0.0%	0.0%
Historic Ballston Park Apartments	LIHTC/ Market	-	-	-	0.0%	0.0%
The Jordan	LIHTC	-	0.0%	0.0%	0.0%	0.0%
The Springs Apartments	LIHTC/ Market	0.0%	0.0%	0.0%	0.0%	0.0%
Birchwood Apartments	Market	-	0.0%	0.0%	0.0%	0.0%
Henderson Park	Market	-	0.0%	0.0%	2.6%	1.5%
Oakland Apartments*	Market	0.0%	0.0%	0.0%	0.0%	0.0%
Quinton Arms Apartments	Market	0.0%	0.0%	0.0%	-	0.0%
The Maxwell	Market	0.0%	0.0%	4.8%	-	0.6%
Thomas Court	Market	-	0.0%	0.0%	0.0%	0.0%

The Subject consists of one, two and three-bedroom units. Overall, the vacancy rates in the market are low. This supports that there is demand for additional rental housing in the market. Given the strong local household growth rates, we believe the Subject will not negatively impact the existing properties in the market.

Concessions

None of the comparable are currently offering concessions. We do not anticipate that the Subject will need to offer concessions to maintain a stabilized occupancy rate.

Waiting Lists

The following table illustrates the length of waiting lists reported at the comparable developments.

WAITING LIST

Property Name	Rent Structure	Waiting List Length
Arlington Mill Residences	LIHTC/ Section 8	Two years in length
Buchanan Gardens	LIHTC	Four to six months
Historic Ballston Park Apartments	LIHTC/ Market	More than 200 households
The Jordan	LIHTC	None maintained
The Springs Apartments	LIHTC/ Market	Eight months to one year
Birchwood Apartments	Market	None
Henderson Park	Market	None
Oakland Apartments	Market	None
Quinton Arms Apartments	Market	None
The Maxwell	Market	None
Thomas Court	Market	None

Four of the LIHTC properties maintain waiting lists. These waiting lists are extensive at some of the LIHTC developments. None of the market rate properties reported maintaining a waiting list. The Subject does not currently maintain a waiting list and operates on a first-come first-serve basis instead. Given the low vacancy rates among the LIHTC comparables, we believe that the Subject could maintain a waiting list.

Absorption

We were able to obtain absorption information from four of the recently constructed comparable properties. We included additional properties in the area that could provide absorption information. The following table details our findings.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
St. James Plaza	LIHTC	Family	2018	93	18
The Springs Apartments*	LIHTC, Market	Family	2016	104	46
The Shell	LIHTC	Family	2015	83	28
The View At Liberty Center	Market	Family	2014	257	21
The Maxwell*	Market	Family	2014	163	30
Arlington Mill Residences*	LIHTC, Section 8	Family	2014	122	61
Sedona	Market	Family	2013	271	20
Macedonia Apartments	LIHTC	Family	2012	36	36
2201 Pershing	Market	Family	2012	188	32
The Jordan*	LIHTC	Family	2011	90	30

*Used as a comparable property

The LIHTC/mixed-income comparables illustrate absorption rates ranging from 18 to 61 units per month. The market rate properties experienced lower rates of 20 to 32 units per month. We estimate the Subject will experience an absorption rate of 30 units per month, indicating an absorption period of approximately three months.

Rental Rate Increases

The following table illustrates rental rate increases as reported by the comparable properties.

RENT GROWTH

Property Name	Rent Structure	Rent Growth
Arlington Mill Residences	LIHTC/ Section 8	Increased to 2019 maximum
Buchanan Gardens	LIHTC	Increased 4%
Historic Ballston Park Apartments	LIHTC/ Market	LIHTC rent increased 4%
The Jordan	LIHTC	Increased four percent
The Springs Apartments	LIHTC/ Market	LIHTC kept at max; Market rate increased 4%
Birchwood Apartments	Market	Decreased 1% to increased 1%
Henderson Park	Market	Changes frequently depending on demand
Oakland Apartments	Market	No increase
Quinton Arms Apartments	Market	No increase to increased 4%
The Maxwell	Market	Changes frequently depending on demand
Thomas Court	Market	Decreased 2% to increased 7%

The majority of the comparable properties reported rent growth over the past year. Further, all of the LIHTC properties reported achieving maximum allowable rents. We anticipate that the Subject will be able to achieve moderate rent growth of two percent in the future, which may be constrained by the applicable LIHTC rent limits.

Reasonability of Rents

The following table is a comparison of the Subject’s and comparable properties’ rents. For the purposes of this market study, “Base Rents” are the actual rents quoted to the tenant, and are most frequently those rents that potential renters consider when making a housing decision. “Net rents” are rents adjusted for the cost of utilities (adjusted to the Subject’s convention) and are used to compensate for the differing utility structures of the Subject and the comparable properties. Net rents represent the actual costs of residing at a property, and help to provide an “apples-to-apples” comparison of rents. The table below illustrates the Subject’s rents and unit mix.

PROPOSED RENTS

Unit Type	Unit Size (SF)	Number of Units	Asking Rent	Utility Allowance (1)	Gross Rent	2019 LIHTC Maximum Allowable Gross Rent	2019 HUD Fair Market Rents
@50%							
1BR / 1BA	735	17	\$1,058	\$69	\$1,127	\$1,138	\$1,454
2BR / 1.5BA	860	16	\$1,264	\$91	\$1,355	\$1,365	\$1,665
3BR / 2BA	975	1	\$1,452	\$112	\$1,564	\$1,577	\$2,176
@60%							
1BR / 1BA	735	13	\$1,286	\$69	\$1,355	\$1,365	\$1,454
2BR / 1.5BA	860	19	\$1,537	\$91	\$1,628	\$1,638	\$1,665
3BR / 2BA	975	1	\$1,771	\$112	\$1,883	\$1,893	\$2,176
Market							
2BR / 1.5BA	860	1	\$1,638	N/A	N/A	N/A	\$1,665

68

Notes (1) Source of Utility Allowance provided by the Developer.

Comparable LIHTC Rents

The Subject’s proposed LIHTC rents are set slightly below the maximum allowable levels. The following table illustrates the Subject’s proposed LIHTC rents compared to the LIHTC rents of the comparable LIHTC properties. The rents have been adjusted for variance in utilities, as well as concessions, if applicable.

LIHTC RENT COMPARISON @50%

Property Name	1BR	2BR	3BR	Rents at Max?
Whitefield Commons	\$1,058	\$1,264	\$1,452	No
LIHTC Maximum Rent (Net)	\$1,069	\$1,274	\$1,465	
Arlington Mill Residences	\$1,055	\$1,261	\$1,453	Yes
Buchanan Gardens	\$1,059	-	-	Yes
The Jordan	\$1,105	\$1,311	\$1,486	Yes
The Springs Apartments	\$1,100	\$1,301	\$1,475	Yes
Average	\$1,080	\$1,291	\$1,471	
Achievable LIHTC Rent	\$1,069	\$1,274	\$1,465	Yes

LIHTC RENT COMPARISON @60%

Property Name	1BR	2BR	3BR	Rents at Max?
Whitefield Commons	\$1,286	\$1,537	\$1,771	No
LIHTC Maximum Rent (Net)	\$1,296	\$1,547	\$1,781	
Arlington Mill Residences	\$1,282	\$1,534	\$1,768	Yes
Buchanan Gardens	\$1,286	\$1,541	\$1,777	Yes
Historic Ballston Park Apartments	\$1,267	\$1,553	-	Yes
The Jordan	\$1,332	\$1,584	\$1,802	Yes
The Springs Apartments	\$1,327	\$1,574	\$1,791	Yes
Average	\$1,299	\$1,557	\$1,785	
Achievable LIHTC Rent	\$1,296	\$1,547	\$1,781	Yes

All of the surveyed LIHTC properties reported achieving maximum allowable rents at 50 and 60 percent AMI. It should be noted that any difference between the LIHTC maximum allowable rental levels and property specific maximum allowable rental levels is assumed to be caused by different property specific utility allowances.

Most Similar LIHTC

Based upon the overall comparison ratings, the Subject as renovated will be slightly superior to Buchanan Gardens and Historic Ballston Park Apartments.

Buchanan Gardens is a 111-unit LIHTC development constructed in 1949 and renovated in 2012. The property offers one-bedroom garden-style units restricted at 50 percent of the AMI as well as one, two, and three-bedroom units at 60 percent AMI. Regarding condition, it will be similar to the newly renovated Subject. Regarding design, Buchanan Garden’s garden-style design is similar to the Subject. The property is 100 percent occupied and management indicated a waiting list of four to six months. This property offers smaller one-bedroom, similar two-bedroom, and larger three-bedroom unit sizes when compared to the Subject. Buchanan Gardens is located 0.9 mile from the Subject in a slightly inferior location. Its common area amenities are slightly inferior to the Subject as it lacks adult education and a picnic area and its in-unit amenities are slightly superior to the Subject as it offers ceiling fans, dishwashers, and microwaves.

Historic Ballston Park Apartments is a 512-unit mixed-income development constructed in 1930 and renovated in 1996. The property offers studio, one, two and three-bedroom restricted at 60 percent of AMI as well as market rate units. Regarding condition, it will be slightly inferior to the newly renovated Subject. Regarding design, Historic Ballston Park Apartments offers garden-style studio, one, and two-bedroom units and townhouse-style two and three-bedroom units. The garden-style units at this property are considered similar to the Subject, yet the townhouses are slightly superior to the Subject in terms of design. The property is 100 percent occupied and management indicated a waiting list of more than 200 households. This property offers smaller one-bedroom, similar two-bedroom, and larger three-bedroom unit sizes when compared to the Subject. It is located 0.3 mile north of the Subject in a similar location. Its in-unit area amenities are slightly superior to the Subject as it offers in-unit washer/dryers and its property amenities are generally similar to the Subject.

The Subject is considered slightly superior to Buchanan Gardens and Historic Ballston Park Apartments as renovated . We believe the Subject will be able to achieve the maximum allowable rents at 50 and 60 percent, similar to Buchanan Gardens and Historic Ballston Park Apartments.

Achievable Market Rents

The achievable market rents were determined by comparing the aesthetic quality, amenities, unit sizes, etc. to that of the market rate projects in the area. Novogradac Consulting LLP concluded that the property is competitive with the market rate competition and achievable rents are within the market rental range. Achievable rents represent net market rate rent levels that we believe a project of the property’s condition and quality could reasonably achieve.

SUBJECT COMPARISON TO MARKET RENTS

Unit Type	Rent Level	Subject Achievable LIHTC Rent	Surveyed Min	Surveyed Max	Surveyed Average	Achievable Market Rent	Subject Rent Advantage
1BR / 1BA	@50%	\$1,069	\$1,197	\$2,455	\$1,770	\$1,850	42%
1BR / 1BA	@60%	\$1,296	\$1,197	\$2,455	\$1,770	\$1,850	30%
2BR / 1.5BA	@50%	\$1,274	\$1,555	\$3,049	\$2,367	\$2,200	42%
2BR / 1.5BA	@60%	\$1,547	\$1,555	\$3,049	\$2,367	\$2,200	30%
2BR / 1.5BA	Market	-	\$1,555	\$3,049	\$2,367	\$2,200	-
3BR / 2BA	@50%	\$1,465	\$1,851	\$3,675	\$2,814	\$2,400	39%
3BR / 2BA	@60%	\$1,781	\$1,851	\$3,675	\$2,814	\$2,400	26%

Among the market rate properties, we compared the Subject to Quinton Arms Apartments and Thomas Court.

Quinton Arms Apartments is a 45-unit, midrise development located 1.0 miles north of the Subject site, in a neighborhood considered slightly superior relative to the Subject's location. The property was built in 1961, and currently exhibits inferior condition relative to the newly renovated Subject. The manager at Quinton Arms Apartments reported the property as fully occupied, indicating the current rents are well accepted in the market. The following table compares the Subject with Quinton Arms Apartments.

SUBJECT COMPARISON TO QUINTON ARMS APARTMENTS - AS PROPOSED

Unit Type	Subject Achievable Market Rent	Square Feet	Subject RPSF	Quinton Arms Apartments Rent	Square Feet	Quinton Arms Apartments RPSF	Subject Rent Advantage
1BR / 1BA	\$1,850	750	\$2.47	\$1,610	695	\$2.32	-14.9%
2BR / 1BA	\$2,200	880	\$2.50	\$2,216	935	\$2.37	0.7%
3BR / 2BA	\$2,400	1,087	\$2.21	-	-	-	-

Quinton Arms Apartments offers balconies/patios, exterior storage, walk-in closets, washer/dryers, washer/dryer hook-ups, dishwashers, microwaves, and a fitness center, all of which the Subject lacks. However, the Subject offers a community room and a playground, neither of which are offered by Quinton Arms Apartments. On balance, we believe the in-unit and property amenity packages offered by Quinton Arms Apartments to be superior and inferior relative to the Subject, respectively. In overall terms, we believe the Subject to be a slightly superior product relative to the Quinton Arms Apartments. Our concluded achievable market rents for the Subject's units are above Quinton Arms Apartments on a rent per square foot basis.

Thomas Court is a 49-unit, midrise development located 0.5 miles northwest of the Subject site, in a neighborhood considered similar relative to the Subject's location. The property was built in 2012, and currently exhibits slightly superior condition relative to the newly renovated Subject. The manager at Thomas Court reported the property as fully occupied, indicating the current rents are well accepted in the market. The following table compares the Subject with Thomas Court.

SUBJECT COMPARISON TO THOMAS COURT

Unit Type	Subject Achievable Market Rent	Square Feet	Subject RPSF	Thomas Court Rent	Square Feet	Thomas Court RPSF
1BR / 1BA	\$1,850	750	\$2.47	\$1,925	802	\$2.40
2BR / 1BA	\$2,200	880	\$2.50	\$2,495	946	\$2.64
3BR / 2BA	\$2,400	1,087	\$2.21	\$3,375	1,433	\$2.36

Thomas Court offers exterior storage, walk-in closets, washer/dryers, dishwashers, microwaves, a business center, a fitness center, and recreational areas, all of which the Subject lacks. However, the Subject offers hardwood flooring and a playground, neither of which are offered by Thomas Court. On balance, we believe the in-unit and property amenity packages offered by Thomas Court to be superior and slightly superior relative to the Subject, respectively. In overall terms, we believe the Subject to be a slightly inferior product relative to the Thomas Court.

Our concluded market rents for the Subject as renovated are **\$1,850**, **\$2,200**, and **\$2,400** for the one, two, and three-bedroom units, respectively.

Summary Evaluation

Based upon our market research, demographic calculations and analysis, we believe there is adequate demand for the Subject property as conceived. Strengths of the Subject will include its good condition.

Weaknesses include its limited in-unit amenities package and low parking ratio. None of the LIHTC comparables reported any vacancy and the majority reported extensive waiting lists. Vacancy at the Subject is expected to be no more than five percent over the long term. Based on the comparable data, we believe the proposed LIHTC rental rates are achievable. The Subject will continue to be well-accepted in the market as a LIHTC property.

I. AFFORDABILITY ANALYSIS, DEMAND ANALYSIS, CAPTURE RATES AND PENETRATION RATES

AFFORDABILITY ANALYSIS, DEMAND ANALYSIS, CAPTURE RATES, AND PENETRATION RATES

Introduction

When evaluating demand for a particular proposed development we rely primarily on two methods. These are a supply analysis and a demand analysis. The supply analysis focuses on satisfied demand and anecdotal reports from property managers and market participants regarding demand. We believe this evidence of demand is the most clear and reliable when measuring housing need in a market area. We explored that indication in the previous sections of this report.

This section focuses on analyzing demographic data to determine housing need. According to NCHMA model content standards there are two measurements used to evaluate demand based on the demographic data. The first measurement is termed the capture rate. NCHMA define Capture Rate as: “The percentage of age, size, and income qualified renter households in the primary market area that the property must capture to fill the units. The Capture Rate is calculated by dividing the total number of units at the property by the total number of age, size and income qualified renter households in the primary market area.”

The second measurement is the Penetration Rate, which has similarities to the capture rate. NCHMA defines Penetration Rate as “The percentage of age and income qualified renter households in the *primary market area* that all existing and proposed properties, to be completed within six months of the Subject, and which are competitively priced to the subject that must be captured to achieve the *stabilized level of occupancy*.”

Capture Rate Determination

The following analysis will take the reader through a multi-step process in determining an appropriate capture rate for the Subject. Our analysis takes the entire population and distributes it by the following characteristics:

- 1) PMA Demography
- 2) Income Qualified
- 3) Renter Households
- 4) Unit Size Appropriate

The following text will examine each step through the process.

Step One – PMA Demography

Primary Market Area Defined

For the purposes of this study, it is necessary to define the market area, or the area from which potential tenants for the project are likely to be drawn. In some areas, residents are very much “neighborhood-oriented” and are generally very reluctant to move from the area in which they have grown up. In other areas, residents are much more mobile and will relocate to a completely new area, especially if there is an attraction such as affordable housing at below-market rents. A certain percent of the Subject’s tenants are expected to hail from the PMA; demand estimates will be adjusted to reflect the potential for “leakage.”

The Subject property is located in the Buckingham neighborhood of Arlington, Virginia. The PMA is generally defined as Interstate 66 and Washington Boulevard to the north, South Washington Boulevard to the east, Columbia Pike to the south, and Leesburg Pike to the west. This area was defined based on interviews with local market participants and local property managers. Management at the majority of the rent comparables noted that the majority of their tenants originate from within the greater metro. We have estimated that 10 percent of the Subject’s tenants will come from outside of these boundaries.

Demographic Information

The basic demographic information is based upon the definition of a primary market area (“PMA”) and an estimate of the characteristics of the people living within that geographic definition.

Demographic data originates from the Census and is compiled by a third party data provider. Novogradac Consulting uses data provided by the ESRI Business Analyst. Business Analyst brings in data as produced by ESRI’s team of demographers. Sources include the US Census, American Community Survey, and other reputable sources. Housing characteristics are derived from several data sources, including construction data from Hanley Wood Market Intelligence, building permits from counties, the USPS, HUD, BLS, and the Census bureau. Owner and renter occupied units come from the Current Population Survey (BLS) and the Housing Vacancy Survey (Census). Data has been ground-truthed by ESRI staff and proven effective.

ESRI’s products have been used by almost all US federal agencies (including HUD and USDA) , top state level agencies, over 24,000 state and local governments worldwide, as well as many industry leading technology users—AT&T, Citrix, SAP, Oracle, Microsoft. ESRI produces timely updates based on new releases of data.

Step one is to identify demographic data such as number of households, renter households, income distribution and AMI levels. The appropriate demographic is used based on the tenancy for the proposed development. When analyzing a property designated for families the demographics for the entire population within the PMA is used. However, senior properties are restricted to tenants who have reached the age of at least 55 or 62 years based upon the specifics of the applicable program. A property designated for seniors is analyzed using demographic data that includes only those households that are 65 years old and above. Even if a project has the lower restriction of 55 years of age, we still use the 65 plus as our research indicates that those younger than 65 are unlikely to seek age restrictive housing. The demographic information was detailed in the demographic section of this report.

Step Two – Income Qualified

Assumptions and Data necessary for this calculation are:

Appropriate Municipality:	Arlington County, VA
AMI for four person household:	\$121,300
Tenancy (Family vs Senior):	Family
Affordability percentage:	35 percent
Leakage:	10 percent

To establish the number of income-eligible potential tenants for the Subject, the calculations are as follows:

First, we estimate the Subject’s minimum and maximum income levels (income bands) for the proposed LIHTC project. HUD determines maximum income guidelines for tax credit properties, based on the AMI. This provides the upper end of the income band as illustrated below. However, the minimum income is not established by HUD and must be estimated. Often, lower-income families pay a higher percentage of gross income toward housing costs. The industry standard is 35 percent for LIHTC-only calculations for family oriented properties. For senior properties this number increases to 40 percent based upon the nature of senior household economics. The lower end of the income band is calculated by taking the proposed rent by bedroom type multiplying by 12 and dividing by the application percentage to determine an income level. For example, if a property has a one bedroom unit with proposed gross rents of \$500, the estimated low end of the income range would be \$17,143 based on the family 35 percent or \$15,000 based on the senior 40 percent. The maximum allowable income for the Subject’s market rate units is based on 120 of the AMI.

FAMILY INCOME LIMITS

Unit Type	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income	Minimum Allowable Income	Maximum Allowable Income
	@50%		@60%		Market	
1BR	\$38,640	\$48,550	\$46,457	\$58,260	-	-
2BR	\$46,457	\$54,600	\$55,817	\$65,520	\$56,160	\$131,040
3BR	\$53,623	\$65,550	\$64,560	\$78,660	-	-

Second, we illustrate the household population segregated by income band in order to determine those who are income-qualified to reside in the Subject property. This income distribution was illustrated previously in the demographic analysis section of this report.

RENTER HOUSEHOLD INCOME

Income Cohort	PMA					
	2019		2024		Annual Change 2019 to 2024	
	Number	Percentage	Number	Percentage	Number	Percentage
\$0-9,999	1,388	6.4%	1,387	6.1%	0	0.0%
\$10,000-19,999	1,640	7.6%	1,601	7.1%	-8	-0.5%
\$20,000-29,999	1,688	7.8%	1,704	7.5%	3	0.2%
\$30,000-39,999	1,269	5.9%	1,258	5.6%	-2	-0.2%
\$40,000-49,999	1,103	5.1%	1,111	4.9%	2	0.1%
\$50,000-59,999	1,185	5.5%	1,180	5.2%	-1	-0.1%
\$60,000-74,999	2,238	10.3%	2,152	9.5%	-17	-0.8%
\$75,000-99,999	3,199	14.8%	3,339	14.8%	28	0.9%
\$100,000-124,999	2,340	10.8%	2,427	10.8%	17	0.7%
\$125,000-149,999	1,801	8.3%	1,922	8.5%	24	1.3%
\$150,000-199,999	1,905	8.8%	2,175	9.6%	54	2.8%
\$200,000+	1,876	8.7%	2,318	10.3%	88	4.7%
Total	21,632	100.0%	22,574	100.0%		

Source: HISTA Data / Ribbon Demographics 2019, Novogradac Consulting LLP, February 2020

Step Three – Income Distribution

Third, we combine the allowable income bands with the income distribution analysis in order to determine the number of potential income-qualified households. The Cohort Overlap is defined as the income amount within income bands defined above that falls within the ESRI provided Income Cohort. The % in Cohort is simply the cohort overlap divided by the income cohort range (generally \$10,000). The # in Cohort is determined by multiplying total renter households by the % in Cohort determination. In some cases the income-eligible band overlaps with more than one income cohort. In those cases, the cohort overlap for more than one income cohort will be calculated. The sum of these calculations provides an estimate of the total number of households that are income-eligible, both by AMI level and in total.

FAMILY INCOME DISTRIBUTION 2019

Income Cohort	Total Renter Households	@50%			@60%			Market			All LIHTC Units			All Units		
		cohort overlap	% in cohort	# in cohort	cohort overlap	% in cohort	# in cohort	cohort overlap	% in cohort	# in cohort	cohort overlap	% in cohort	# in cohort	cohort overlap	% in cohort	# in cohort
\$0-9,999	1,388															
\$10,000-19,999	1,640															
\$20,000-29,999	1,688															
\$30,000-39,999	1,269	1,358	13.6%	172							1,358	13.6%	172	1,358	13.6%	172
\$40,000-49,999	1,103	9,999	100.0%	1,103	3,541	35.4%	391				9,999	100.0%	1,103	9,999	100.0%	1,103
\$50,000-59,999	1,185	9,999	100.0%	1,185	9,999	100.0%	1,185	3,838	38.4%	455	9,999	100.0%	1,185	9,999	100.0%	1,185
\$60,000-74,999	2,238	5,551	37.0%	828	14,999	100.0%	2,238	14,999	100.0%	2,238	14,999	100.0%	2,238	14,999	100.0%	2,238
\$75,000-99,999	3,199				3,661	14.6%	468	24,999	100.0%	3,199	3,661	14.6%	468	24,999	100.0%	3,199
\$100,000-124,999	2,340							24,999	100.0%	2,340				24,999	100.0%	2,340
\$125,000-149,999	1,801							6,041	24.2%	435				6,041	24.2%	435
\$150,000-199,999	1,905															
\$200,000+	1,876															
Total	21,632		15.2%	3,289		19.8%	4,282		40.1%	8,667		23.9%	5,167		49.3%	10,673

Step Four – Income Eligible - Renter Households by Number of People in Household

At this point we know how many income eligible renter households there are within the PMA by AMI level. Using that household figure we have also calculated percentage of income eligible households to total households by AMI level (AMI percentage eligible). However, in order to provide a demand analysis by bedroom type the number of households must now be allocated to a bedroom mix. The first step in that process is to determine the number of income qualified renter households by the number of persons per household. This can be completed by applying the total number of rental households by person by the AMI percentage eligible. The total number of renter households by person is information provided by ESRI and illustrated in the demographic discussion.

Step Five – Unit Size Appropriate

Household size is assumed to be 1.5 persons per bedroom for LIHTC rent calculation purposes. Additionally HUD assumes that one-person households are accommodated in one-bedroom units. For LIHTC income purposes, the actual size of the household is used.

The distribution of households by unit type is dependent on the following assumptions. This table has been developed by Novogradac as a result of market research.

HOUSEHOLD DISTRIBUTION

HOUSEHOLD DISTRIBUTION		
1 BR	90%	Of one-person households in 1BR units
	20%	Of two-person households in 1BR units
2 BR	10%	Of one-person households in 2BR units
	80%	Of two-person households in 2BR units
	60%	Of three-person households in 2BR units
	30%	Of four-person households in 2BR units
3 BR	40%	Of three-person households in 3BR units
	40%	Of four-person households in 3BR units
	50%	Of five-person households in 3BR units

The projected renter household demand by bedroom size can then be determined by applying these weightings to the number of income qualified renter households determined in Step Four.

Step Six – Capture Rate by Bedroom Mix

The capture rate is simply determined by dividing the number of units by unit type for the Subject by the total number of qualified renter households for that unit type. This calculation is then adjusted for leakage to arrive at a final determination of capture rate by bedroom type and AMI level.

CAPTURE RATE ANALYSIS BY UNIT TYPE

In order to determine demand for the proposed market mix, we also analyzed the demand capture rates expected at the Subject by bedroom type. This analysis illustrates demand for all AMI levels.

50 Percent of AMI Demand

PROJECTED RENTER HOUSEHOLD DEMAND BY BEDROOM TYPE

Renter Household Distribution 2019

	Renter Household Size Distribution	Total Number of Renter Households
1 person	47.8%	10,330
2 persons	26.5%	5,743
3 persons	11.7%	2,527
4 persons	7.5%	1,622
5+ persons	6.5%	1,410
Total	100.0%	21,632

Income-Qualified Renter Demand

	Total Number of Renter Households	% Income-Qualified Renter Households	Number Qualified Renter Households
1 person	10,330	x	1,570
2 persons	5,743	x	873
3 persons	2,527	x	384
4 persons	1,622	x	247
5+ persons	1,410	x	214
Total	21,632		3,289

Projected Renter Household Demand by Bedroom Size

	Number of Qualified Renter Households
1BR	1,588
2BR	1,160
3BR	359
Total	3,107

Capture Rate Analysis - @50%

	Developer's Unit Mix	Capture Rate
1BR	17	1.07%
2BR	16	1.38%
3BR	1	0.28%
Total/Overall	34	1.09%

Adjusted for Leakage from Outside of the PMA

10%

1BR	17	0.96%
2BR	16	1.24%
3BR	1	0.25%
Total/Overall	34	0.98%

60 Percent of AMI Demand

PROJECTED RENTER HOUSEHOLD DEMAND BY BEDROOM TYPE

Renter Household Distribution 2019

	Renter Household Size Distribution	Total Number of Renter Households
1 person	47.8%	10,330
2 persons	26.5%	5,743
3 persons	11.7%	2,527
4 persons	7.5%	1,622
5+ persons	6.5%	1,410
Total	100.0%	21,632

Income-Qualified Renter Demand

	Total Number of Renter Households	% Income-Qualified Renter Households	Number Qualified Renter Households
1 person	10,330	x	2,045
2 persons	5,743	x	1,137
3 persons	2,527	x	500
4 persons	1,622	x	321
5+ persons	1,410	x	279
Total	21,632		4,282

Projected Renter Household Demand by Bedroom Size

	Number of Qualified Renter Households
1BR	2,068
2BR	1,510
3BR	468
Total	4,046

Capture Rate Analysis - @60%

	Developer's Unit Mix	Capture Rate
1BR	13	0.63%
2BR	19	1.26%
3BR	1	0.21%
Total/Overall	33	0.82%

Adjusted for Leakage from Outside of the PMA

10%

1BR	13	0.57%
2BR	19	1.13%
3BR	1	0.19%
Total/Overall	33	0.73%

Market Rate Demand

PROJECTED RENTER HOUSEHOLD DEMAND BY BEDROOM TYPE

Renter Household Distribution 2019

	Renter Household Size Distribution	Total Number of Renter Households
1 person	47.8%	10,330
2 persons	26.5%	5,743
3 persons	11.7%	2,527
4 persons	7.5%	1,622
5+ persons	6.5%	1,410
Total	100.0%	21,632

Income-Qualified Renter Demand

	Total Number of Renter Households	% Income-Qualified Renter Households	Number Qualified Renter Households
1 person	10,330	x	4,139
2 persons	5,743	x	2,301
3 persons	2,527	x	1,012
4 persons	1,622	x	650
5+ persons	1,410	x	565
Total	21,632		8,667

Projected Renter Household Demand by Bedroom Size

	Number of Qualified Renter Households
1BR	-
2BR	3,057
3BR	-
Total	3,057

Capture Rate Analysis - Market

	Developer's Unit Mix	Capture Rate
1BR	-	-
2BR	1	0.03%
3BR	-	-
Total/Overall	1	0.03%

Adjusted for Leakage from Outside of the PMA

10%

1BR	-	-
2BR	1	0.03%
3BR	-	-
Total/Overall	1	0.03%

All LIHTC Units Demand

PROJECTED RENTER HOUSEHOLD DEMAND BY BEDROOM TYPE

Renter Household Distribution 2019

	Renter Household Size Distribution	Total Number of Renter Households
1 person	47.8%	10,330
2 persons	26.5%	5,743
3 persons	11.7%	2,527
4 persons	7.5%	1,622
5+ persons	6.5%	1,410
Total	100.0%	21,632

Income-Qualified Renter Demand

	Total Number of Renter Households		% Income-Qualified Renter Households	Number Qualified Renter Households
1 person	10,330	x	23.9%	2,467
2 persons	5,743	x	23.9%	1,372
3 persons	2,527	x	23.9%	604
4 persons	1,622	x	23.9%	387
5+ persons	1,410	x	23.9%	337
Total	21,632			5,167

Projected Renter Household Demand by Bedroom Size

	Number of Qualified Renter Households
1BR	2,495
2BR	1,822
3BR	565
Total	4,882

Capture Rate Analysis - All LIHTC Units As Proposed

	Developer's Unit Mix	Capture Rate
1BR	30	1.20%
2BR	35	1.92%
3BR	2	0.35%
Total/Overall	67	1.37%

Adjusted for Leakage from Outside of the PMA

10%

1BR	30	1.08%
2BR	35	1.73%
3BR	2	0.32%
Total/Overall	67	1.24%

All Units Demand

PROJECTED RENTER HOUSEHOLD DEMAND BY BEDROOM TYPE

Renter Household Distribution 2019

	Renter Household Size Distribution	Total Number of Renter Households
1 person	47.8%	10,330
2 persons	26.5%	5,743
3 persons	11.7%	2,527
4 persons	7.5%	1,622
5+ persons	6.5%	1,410
Total	100.0%	21,632

Income-Qualified Renter Demand

	Total Number of Renter Households		% Income-Qualified Renter Households	Number Qualified Renter Households
1 person	10,330	x	49.3%	5,097
2 persons	5,743	x	49.3%	2,833
3 persons	2,527	x	49.3%	1,247
4 persons	1,622	x	49.3%	800
5+ persons	1,410	x	49.3%	696
Total	21,632			10,673

Projected Renter Household Demand by Bedroom Size

	Number of Qualified Renter Households
1BR	5,154
2BR	3,765
3BR	1,167
Total	10,085

Capture Rate Analysis - All Units As Proposed

	Developer's Unit Mix	Capture Rate
1BR	30	0.58%
2BR	36	0.96%
3BR	2	0.17%
Total/Overall	68	0.67%

Adjusted for Leakage from Outside of the PMA

10%

1BR	30	0.52%
2BR	36	0.86%
3BR	2	0.15%
Total/Overall	68	0.61%

ANNUAL CAPTURE RATE ANALYSIS

The following calculation derives an estimated market penetration rate based on per annum demand. This is an indication of the percentage of net demand penetration that the Subject must attract in order to reach stabilized occupancy. This measure essentially takes the available household demand searching for apartments in the market area and deducts competition in order to determine net demand available to the Subject. The table below outlines the analysis of this methodology.

The annual demand for rental housing depends upon the following factors:

Population/Household Change

Population change as a result of new households moving in or out of the area: This was previously calculated, in the estimated population increase from 2019 to 2024. Since the newly derived population will all be eligible, they are included directly into the annual demand estimate.

Additions to Supply

According to the Virginia Housing Development Authority, there have been five properties allocated tax credits within the PMA since 2016. The following table illustrates these allocations. Note that The Cadence has yet to be allocated tax credits.

RECENT LIHTC ALLOCATIONS IN PMA

Property Name	Year Allocated	Rent Structure	Type	Tenancy	Status	Total Units	Competitive Units
Knightsbridge Apartments	2019	LIHTC, Section 8	Rehabilitation	Family	Proposed	37	0
Culpepper Garden I	2018	LIHTC, Section 8	Rehabilitation	Senior	Complete	210	0
Clarendon Court	2016	LIHTC, Market	Rehabilitation	Family	Complete	102	93
Gilliam Place East	2016	LIHTC	New Construction	Family	Under Construction	83	83
Gilliam Place West	2016	LIHTC	New Construction	Family	Under Construction	90	90
Total						522	266
Total Proposed/Under Construction						210	173

Source: Virginia Housing Development Authority, March 2020

- **Knightsbridge Apartments** is an existing LIHTC development. All 37 units operate with project-based Section 8 vouchers. A renovation timeline is not yet available for the property. None of the units are considered competitive with the Subject due to a differing rent structure.
- **Culpepper Garden I** is an existing LIHTC development restricted to seniors age 62 and older. A total of 42 studio units operate with project-based Section 8 vouchers, and the owner is seeking 151 more vouchers for the property. The property currently offers 206 units and will be reconfigured to offer 210 units post-renovation. All units will continue to be restricted at 60 percent of AMI. Renovations are expected to be completed in 2020. Given the property’s senior tenancy and differing rent restrictions, we do not expect it to be competitive with the Subject.
- **Clarendon Court** is an existing mixed income property that was recently renovated. The property offers studio, one, two, and three-bedroom units restricted to 50 and 60 percent of AMI as well as market rate units.
- **Gilliam Place East/West** is a mixed-used apartment community that will have 173 LIHTC units as well as ground floor civic space, retail space, and a community room. The LIHTC units will be restricted to family households earning 40, 50, and 60 percent of AMI. Gilliam Place is currently pre-leasing and expected to open in 2020. We are unaware how many units have been pre-leased.

Although we expect The Cadence to be competitive with the Subject if completed, it has yet to be allocated tax credits. Therefore, we have removed 173 under construction units that are expected to be competitive with the Subject.

Annual Demand Table

ANNUAL DEMAND		
Calculation		PMA
Number of Renter Households in 2019		21,632
Increase in Number of Renter Households		942
Number of Renter Households in 2024		22,574
<i>Existing Demand</i>		
Percentage of Total Households that are Renter		60.8%
Percentage of Income-Qualified Renter Households		49.3%
Number of Income-Qualified Renter Households		10,673
Percentage of Rent-Overburdened		36.4%
Existing Income-Qualified Renter Household Turnover		3,882
<i>New Income-Qualified Demand, Stated Annually</i>		
Increase in Renter Households per Annum		188
Percentage of Income-Qualified Renter Households		49.3%
New Rental Income Qualified Households		93
<i>Capture Rate Analysis</i>		
Number of Units in Subject		68
Occupied Units at Subject With Vacancy of:	5%	65
Units Pre-Leased		0
Total Demand (Turnover and Growth) from within PMA		3,975
Portion Originating within PMA		90%
Total Demand (Turnover and Growth) from within PMA		4,417
Less: Existing LIHTC Projects in Absorption Process (Number of Units)	173	
Total Demand after Competition (Turnover and Growth)		4,244
Yielded Annual Capture Rate of Available Demand in 2020		1.5%

The yielded capture rate is approximately 1.5 percent of available demand per annum, for the Subject’s units as proposed, which is low and indicative of strong demand.

VHDA DEMAND ANALYSIS

We also included the required demand table from the VHDA market study guidelines. The following table illustrates the total demand, the net demand, and the absorption period for the Subject property. The supply illustrates all proposed or under construction units in the PMA. Note that we have not calculated VHDA demand for the Subject’s one proposed market rate unit.

None of the LIHTC/mixed-income comparables reported any vacancy in their LIHTC units. There are currently two LIHTC properties, with 173 LIHTC units as detailed earlier in this report, in the PMA that are under construction or recently allocated that will be considered directly competitive with the Subject. Note that only the units restricted at 50 and 60 percent AMI will be competitive with the Subject. The following table details the AMI distribution of the planned developments and developments currently under construction in the PMA.

AMI DISTRIBUTION FOR PLANNED DEVELOPMENTS (no existing vacant units identified)

Property Name	40% AMI Units	50% AMI Units	60% AMI Units	Total Units
Gilliam Place East	9	32	42	83
Gilliam Place West	0	0	90	90
Total	9	32	132	173

As shown in the following table, there are 250 known proposed market rate units in the PMA. Additionally, there are two vacant market rate units among the surveyed comparables.

PLANNED DEVELOPMENT

Property Name	Rent Structure	Tenancy	Total Units	Competitive Units	Construction Status	Distance to Subject
2601 Columbia Pike	Unknown	Unknown	N/A	0	Proposed	1.2 miles
600 N. Glebe Road – Harris Teeter Site	Unknown	Family	732	0	Proposed	0.6 miles
Westmont Center Redevelopment	Market	Family	250	0	Proposed	0.9 miles
Gilliam Place	LIHTC	Family	173	173	Under Constr.	1.1 miles
Totals			1,155	0		

Source: CoStar, December 2019

The following table illustrates the resulting capture rates for demand currently existing in PMA.

Income Restrictions	Up to 50% (min. income to max. income)	Up to 60% (min. income to max. income)	All LIHTC (min. income to max. income)	Market Rate (min. income to max. income)	Project Total (min. income to max. income)
New Rental Households	143	187	225	378	464
+ Existing Households - Overburdened	1,151	1,499	1,808	3,033	3,736
+ Existing Households - Substandard Housing	53	69	83	139	171
+ Senior Households - Likely to Covert to Rental Housing	n/a	n/a	n/a	n/a	n/a
+ Qualified Tenants- To Remain After Renovation	63	63	63	63	63
TOTAL DEMAND	1,410	1,754	2,116	3,550	4,371
- Supply (includes directly comparable vacant units or in pipeline in PMA)	32	132	164	252	416
NET DEMAND	1,378	1,622	1,952	3,298	3,955
PROPOSED UNITS	34	33	67	1	68
CAPTURE RATE	2.5%	2.0%	3.4%	0.03%	1.7%
ABSORPTION PERIOD	3 months	3 months	3 months	3 months	3 months

We believe there is ample demand for the Subject. Our concluded capture rates and absorption are shown in the table below.

Project Wide Capture Rate- LIHTC Units	3.4%
Project Wide Capture Rate- Market Units	0.03%
Project Wide Capture Rate- All Units	1.7%
Project Wide Absorption Period (Months)	3 months

Capture Rate and VHDA Conclusion

The Novoco demand analysis illustrates demand for the Subject based on capture rates of income-eligible renter households. When viewing total income-eligible renter households, the calculation for the LIHTC units is 0.6 percent as proposed.

To provide another level of analysis, we removed the households from the income-eligible renter demand pool that are currently suitably housed elsewhere in the PMA. We conducted an *annual demand analysis*, which is based on new income-eligible renter households moving into the area (in the Subject’s first year of operation only) and those income-eligible renter households that are rent-overburdened (paying over 35 percent of income to living costs). This is a subset of the income-eligible renter households used previously and yields a far more conservative annual capture rate. This annual Novoco capture rate is 1.5 percent for the first year of operation as a LIHTC property. This suggests that the Subject will need to capture only a fraction of the available demand in its first year of operation in order to stabilize. This implies that no demand will be accommodated that is currently suitably housed elsewhere.

This calculation illustrates that there are approximately 4,244 units of demand in the first year of the Subject’s operation. The Subject’s units will need to accommodate 65 total units of demand in order to stabilize at 95 percent occupancy. Any unaccommodated households will most likely leave the PMA or remain severely rent-overburdened. The lack of available units will force many to look elsewhere.

The VHDA net demand and capture rate table illustrates demand for the Subject based on capture rates of income-eligible renter households. The following table illustrates the conclusions from this table.

Project Wide Capture Rate- LIHTC Units	3.4%
Project Wide Capture Rate- Market Units	0.03%
Project Wide Capture Rate- All Units	1.7%
Project Wide Absorption Period (Months)	3 months

This is a low capture rate and indicative of ample demand for the Subject.

PENETRATION RATE ANALYSIS

Per VHDA guidelines, we also performed a penetration rate analysis for the Subject’s LIHTC units, as illustrated in the following tables.

PENETRATION RATE	
Number of Proposed Competitive LIHTC Units in the PMA	173
	+
Number of Existing Competitive LIHTC Units in the PMA	2,651
	+
Number of Proposed LIHTC Units at the Subject	67
	=
Total	2,891
	/
Income Eligible Households - All AMI Levels	5,167
	=
Overall Penetration Rate - Market Focus (NCHMA)	56.0%

The overall penetration rate is derived by taking the number of LIHTC units proposed or under construction within the PMA, combined with the number of existing LIHTC units, and the number of the Subject’s units divided by the number of income eligible households. As previously discussed, two proposed/under construction developments are considered in our VHDA demand for a total of 173 proposed units.

Existing affordable housing projects in the PMA will not be adversely affected by the proposed renovations of the Subject property. A survey of comparable affordable LIHTC rental housing developments in the area demonstrates significant demand for quality rental units. The following table illustrates the LIHTC properties within the PMA.

EXISTING AFFORDABLE PROPERTIES IN PMA

Property Name	Rent Structure	Tenancy	Total Units	Competitive LIHTC Units
Arbor Heights	LIHTC	Family	198	198
Arlington Mill Residences*	LIHTC, Section 8	Family	122	109
Buchanan Gardens*	LIHTC	Family	111	111
Buckingham Village Parcel B	LIHTC	Family	43	43
Buckingham Village Phase III	LIHTC	Family	92	92
Clarendon Court	LIHTC, Market	Family	102	97
Cleveland Cheshire Home	Section 8	Senior	6	0
Culpepper Gardens	LIHTC, Section 8	Senior	206	0
East Falls	LIHTC	Family	305	305
Elmwood House	Section 8	Senior	50	0
Fields of Arlington	LIHTC, Market	Family	199	189
Gates Of Ballston	LIHTC, Market	Family	464	357
Harvey Hall	LIHTC, Market	Family	116	100
Historic Ballston Park*	LIHTC, Market	Family	512	233
Hollybrooke II	LIHTC	Family	89	89
Hollybrooke III	LIHTC	Family	50	50
Key Gardens	LIHTC, Market	Family	103	81
Knightsbridge Apartments	Section 8	Family	37	0
Lockwood House	Section 8	Family	100	0
Madison At Ballston Station	LIHTC, Market	Family	504	100
Monterey Apartments	LIHTC	Family	109	109
Patrick Henry Apartments	LIHTC	Family	110	110
South 7h Street Group Home	Section 8	Senior	6	0
The Carlin	LIHTC	Senior	161	0
The Jordan*	LIHTC	Family	90	90
The Shell	LIHTC	Family	83	83
The Springs Apartments*	LIHTC, Market	Family	104	98
Woodland Hill	Section 8	Senior	235	0
Totals			4,313	2,651

*Used as a comparable property

We were able to obtain absorption information from four of the recently constructed comparable properties. We included additional properties in the area that could provide absorption information. The following table details our findings.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
St. James Plaza	LIHTC	Family	2018	93	18
The Springs Apartments*	LIHTC, Market	Family	2016	104	46
The Shell	LIHTC	Family	2015	83	28
The View At Liberty Center	Market	Family	2014	257	21
The Maxwell*	Market	Family	2014	163	30
Arlington Mill Residences*	LIHTC, Section 8	Family	2014	122	61
Sedona	Market	Family	2013	271	20
Macedonia Apartments	LIHTC	Family	2012	36	36
2201 Pershing	Market	Family	2012	188	32
The Jordan*	LIHTC	Family	2011	90	30

*Used as a comparable property

The LIHTC/mixed-income comparables illustrate absorption rates ranging from 18 to 61 units per month. The market rate properties experienced lower rates of 20 to 32 units per month. We estimate the Subject will experience an absorption rate of 30 units per month, indicating an absorption period of approximately three months.

Rent conclusions were provided in Section H.

We do not anticipate any future changes in the housing stock or risks in the market area that would adversely affect the Subject. The Novoco achievable market rents are reasonable and as a LIHTC property, the Subject will continue to operate with a strong occupancy rate.

**J. LOCAL PERSPECTIVES OF
RENTAL HOUSING MARKET
AND HOUSING
ALTERNATIVES**

INTERVIEWS

In order to ascertain the need for housing and affordable housing in the Subject’s area, interviews were conducted with various local officials.

Local Housing Authority Discussion

According to the Arlington County Housing Authority, the waiting list for Housing Choice Vouchers is closed and currently has approximately 5,000 applicants with a five year or more waiting period. The total allocation of Housing Choice Vouchers in the county is approximately 1,588 vouchers, of which 1,460 are currently in use. The contact was unaware of when the waiting list will reopen. The following table illustrates the current payment standards for the Subject’s zip code.

PAYMENT STANDARDS (NET)	
Unit Type	Standard
Studio	\$1,871
One-Bedroom	\$1,915
Two-Bedroom	\$2,194
Three-Bedroom	\$2,877

Source: Arlington County Housing Authority, effective July 1, 2019

The payment standards are above the achievable LIHTC rents for all the Subject’s units. Therefore, tenants using vouchers will not have to pay additional rent out of pocket to reside at the Subject.

Planning Discussion

The following table illustrates proposed and under construction multifamily developments in the PMA according to CoStar.

PLANNED DEVELOPMENT						
Property Name	Rent Structure	Tenancy	Total Units	Competitive Units	Construction Status	Distance to Subject
2601 Columbia Pike	Unknown	Unknown	N/A	0	Proposed	1.2 miles
600 N. Glebe Road – Harris Teeter Site	Unknown	Family	732	0	Proposed	0.6 miles
Westmont Center Redevelopment	Market	Family	250	0	Proposed	0.9 miles
Gilliam Place	LIHTC	Family	173	173	Under Constr.	1.1 miles
Totals			1,155	0		

Source: CoStar, December 2019

There are four proposed or under construction multifamily developments in the PMA:

- Limited information is available for 2601 Columbia Pike. CoStar indicates that the project is a proposed six-story multifamily development expected to complete construction in 2022. It will be located 1.2 miles from the Subject.
- 600 N. Glebe Road encompasses the redevelopment of the Harris Teeter site located 0.6 mile from the Subject site. The redevelopment plan was approved in November 2019 and will replace a single-story Harris Teeter, the American Service Center/Pre-Owned Mercedes Benz of Arlington at 600 North Glebe Road, and an adjacent single-family home at 525 North Thomas Street, with two nine-story buildings and one seven-story building. The project includes 732 apartments, 77,575 square feet of retail space, and 942 parking spaces. It also includes a new grocery store, other ground floor retail, and a new public open space. The project will be built in three phases, with the existing Harris Teeter remaining open during the first phase, while the first building and the new Harris Teeter is built. The public open space will be built in the second phase. The rent structure for the 732 units is currently

unknown; however, the project has yet to be awarded tax credits. A construction timeline has yet to be announced.

- Westmont Center Redevelopment includes the redevelopment of the Westmont Shopping Center located 0.9 miles from the Subject site. A new six-story apartment building with ground floor retail will replace an aging shopping center and surface parking lot at the northeast corner of South Glebe Road and Columbia Pike. The plan was approved in September 2019. It will add 250 market rate apartments to the housing stock, built above 22,500 square feet of new retail space and an underground parking garage. A construction timeline has yet to be announced.
- Gilliam Place is a mixed-use apartment community that will have 173 LIHTC units as well as a ground floor civic space, retail space, and a community room. The project was awarded tax credits in 2016 and its units will be restricted to family households earning 40, 50, and 60 percent of AMI. Gilliam Place is currently pre-leasing and expected to open in 2020. We are unaware how many units have been pre-leased.

According to the Virginia Housing Development Authority, there have been five properties allocated tax credits within the PMA since 2016. The following table illustrates these allocations.

RECENT LIHTC ALLOCATIONS IN PMA

Property Name	Year Allocated	Rent Structure	Type	Tenancy	Status	Total Units	Competitive Units
Knightsbridge Apartments	2019	LIHTC, Section 8	Rehabilitation	Family	Proposed	37	0
Culpepper Garden I	2018	LIHTC, Section 8	Rehabilitation	Senior	Complete	210	0
Clarendon Court	2016	LIHTC, Market	Rehabilitation	Family	Complete	102	93
Gilliam Place East	2016	LIHTC	New Construction	Family	Under Construction	83	83
Gilliam Place West	2016	LIHTC	New Construction	Family	Under Construction	90	90
Total						522	266
Total Proposed/Under Construction						210	173

Source: Virginia Housing Development Authority, March 2020

- **Knightsbridge Apartments** is an existing LIHTC development. All 37 units operate with project-based Section 8 vouchers. A renovation timeline is not yet available for the property. None of the units are considered competitive with the Subject due to a differing rent structure.
- **Culpepper Garden I** is an existing LIHTC development restricted to seniors age 62 and older. A total of 42 studio units operate with project-based Section 8 vouchers, and the owner is seeking 151 more vouchers for the property. The property currently offers 206 units and will be reconfigured to offer 210 units post-renovation. All units will continue to be restricted at 60 percent of AMI. Renovations are expected to be completed in 2020. Given the property’s senior tenancy and differing rent restrictions, we do not expect it to be competitive with the Subject.
- **Clarendon Court** is an existing mixed income property that was recently renovated. The property offers studio, one, two, and three-bedroom units restricted to 50 and 60 percent of AMI as well as market rate units.
- **Gilliam Place East/West** is a mixed-used apartment community that will have 173 LIHTC units as well as ground floor civic space, retail space, and a community room. The LIHTC units will be restricted to family households earning 40, 50, and 60 percent of AMI. Gilliam Place is currently pre-leasing and expected to open in 2020. We are unaware how many units have been pre-leased.

Therefore, we have removed 173 under construction units that are expected to be competitive with the Subject.

K. ANALYSIS/CONCLUSIONS

Recommendations

In general, we believe there is demand in the marketplace for the Subject. We recommend no changes for the Subject property.

Demand Summary

We believe there is ample demand for the Subject. Our concluded capture rates and absorption are shown in the table below.

Project Wide Capture Rate- LIHTC Units	3.4%
Project Wide Capture Rate- Market Units	0.03%
Project Wide Capture Rate- All Units	1.7%
Project Wide Absorption Period (Months)	3 months

Additionally, the overall penetration rate for the Subject is 56.0 percent. It should be noted that the penetration rate analysis we have derived is conservative because it does not account for leakage (i.e. tenants originating outside of the PMA). Overall, the derived penetration rate for the Subject is considered reasonable.

Strengths and Weaknesses of the Subject

Strengths

- The Subject will be in good condition once renovated.
- None of the LIHTC/mixed-income comparables reported any vacancy in their LIHTC units and the market rate comparables reported low vacancy with a weighted average of 0.3 percent. According to historical financials, the Subject had a vacancy rate of 0.3 percent in 2017, 0.6 percent in 2018, and 1.5 percent in 2019.
- The majority of the LIHTC comparable properties reported extensive waiting lists.
- All of the LIHTC comparable properties reported achieving maximum allowable LIHTC rents.
- The Subject is located in close proximity to public transportation options, services, and amenities.
- The Subject has low capture rates and penetration rates, indicating that there is ample demand for affordable housing.

Weaknesses

- The Subject offers limited in-unit amenities and a low parking ratio when compared to the comparable properties. Garbage disposals will be added during renovations. We considered the Subject's amenities and parking in our achievable rent determination.

Absorption Estimate

We were able to obtain absorption information from four of the recently constructed comparable properties. We included additional properties in the area that could provide absorption information. The following table details our findings.

ABSORPTION

Property Name	Rent	Tenancy	Year	Total Units	Absorption (units/month)
St. James Plaza	LIHTC	Family	2018	93	18
The Springs Apartments*	LIHTC, Market	Family	2016	104	46
The Shell	LIHTC	Family	2015	83	28
The View At Liberty Center	Market	Family	2014	257	21
The Maxwell*	Market	Family	2014	163	30
Arlington Mill Residences*	LIHTC, Section 8	Family	2014	122	61
Sedona	Market	Family	2013	271	20
Macedonia Apartments	LIHTC	Family	2012	36	36
2201 Pershing	Market	Family	2012	188	32
The Jordan*	LIHTC	Family	2011	90	30

*Used as a comparable property

The LIHTC/mixed-income comparables illustrate absorption rates ranging from 18 to 61 units per month. The market rate properties experienced lower rates of 20 to 32 units per month. We estimate the Subject will experience an absorption rate of 30 units per month, indicating an absorption period of approximately three months.

L. OTHER REQUIREMENTS

1. I have made a physical inspection of the site and market area.
2. The appropriate information has been used in the comprehensive evaluation of the need and demand for the proposed rental units.
3. To the best of my knowledge the market can support the demand shown in this study. I understand that any misrepresentation in this statement may result in the denial of participation in the Low Income Housing Tax Credit Program in Virginia as administered by VHDA.
4. Neither I nor anyone at my firm has any interest in the proposed development or a relationship with the ownership entity.
5. Neither I nor anyone at my firm nor anyone acting on behalf of my firm in connection with the preparation of this report has communicated to others that my firm is representing VHDA or in any way acting for, at the request of, or on behalf of VHDA.
6. Compensation for my services is not contingent upon this development receiving a LIHTC reservation or allocation.



H. Blair Kincer, MAI, CRE
Market Analyst

March 2, 2020
Date

ADDENDUM A
Assumptions and Limiting Conditions

ASSUMPTIONS AND LIMITING CONDITIONS

1. In the event that the client provided a legal description, building plans, title policy and/or survey, etc., the market analyst has relied extensively upon such data in the formulation of all analyses.
2. The legal description as supplied by the client is assumed to be correct and the author assumes no responsibility for legal matters, and renders no opinion of property title, which is assumed to be good and merchantable.
3. All encumbrances, including mortgages, liens, leases, and servitudes, were disregarded in this valuation unless specified in the report. It was recognized, however, that the typical purchaser would likely take advantage of the best available financing, and the effects of such financing on property value were considered.
4. All information contained in the report, which others furnished, was assumed to be true, correct, and reliable. A reasonable effort was made to verify such information, but the author assumes no responsibility for its accuracy.
5. The report was made assuming responsible ownership and capable management of the property.
6. The sketches, photographs, and other exhibits in this report are solely for the purpose of assisting the reader in visualizing the property. The author made no property survey, and assumes no liability in connection with such matters. It was also assumed there is no property encroachment or trespass unless noted in the report.
7. The author of this report assumes no responsibility for hidden or unapparent conditions of the property, subsoil or structures, or the correction of any defects now existing or that may develop in the future. Equipment components were assumed in good working condition unless otherwise stated in this report.
8. It is assumed that there are no hidden or unapparent conditions for the property, subsoil, or structures, which would render it more or less valuable. No responsibility is assumed for such conditions or for engineering, which may be required to discover such factors.
9. The investigation made it reasonable to assume, for report purposes, that no insulation or other product banned by the Consumer Product Safety Commission has been introduced into the Subject premises. Visual inspection by the market analyst did not indicate the presence of any hazardous waste. It is suggested the client obtain a professional environmental hazard survey to further define the condition of the Subject soil if they deem necessary.
10. Any distribution of total property value between land and improvements applies only under the existing or specified program of property utilization. Separate valuations for land and buildings must not be used in conjunction with any other study or market study and are invalid if so used.
11. Possession of the report, or a copy thereof, does not carry with it the right of publication, nor may it be reproduced in whole or in part, in any manner, by any person, without the prior written consent of the author particularly as to value conclusions, the identity of the author or the firm with which he or she is connected. Neither all nor any part of the report, or copy thereof shall be disseminated to the general public by the use of advertising, public relations, news, sales, or other media for public communication without the prior written consent and approval of the market analyst. Nor shall the market analyst, firm, or professional organizations of which the market analyst is a member be identified without written consent of the market analyst.

12. Disclosure of the contents of this report is governed by the Bylaws and Regulations of the professional organization with which the market analyst is affiliated.
13. The author of this report is not required to give testimony or attendance in legal or other proceedings relative to this report or to the Subject property unless satisfactory additional arrangements are made prior to the need for such services.
14. The opinions contained in this report are those of the author and no responsibility is accepted by the author for the results of actions taken by others based on information contained herein.
15. Opinions of value contained herein are estimates. There is no guarantee, written or implied, that the Subject property will sell or lease for the indicated amounts.
16. All applicable zoning and use regulations and restrictions are assumed to have been complied with, unless nonconformity has been stated, defined, and considered in the market study report.
17. It is assumed that all required licenses, permits, covenants or other legislative or administrative authority from any local, state, or national governmental or private entity or organization have been or can be obtained or renewed for any use on which the value estimate contained in this report is based.
18. On all studies, Subject to satisfactory completion, repairs, or alterations, the report and conclusions are contingent upon completion of the improvements in a workmanlike manner and in a reasonable period of time.
19. All general codes, ordinances, regulations or statutes affecting the property have been and will be enforced and the property is not Subject to flood plain or utility restrictions or moratoriums, except as reported to the market analyst and contained in this report.
20. The party for whom this report is prepared has reported to the market analyst there are no original existing condition or development plans that would Subject this property to the regulations of the Securities and Exchange Commission or similar agencies on the state or local level.
21. Unless stated otherwise, no percolation tests have been performed on this property. In making the market study, it has been assumed the property is capable of passing such tests so as to be developable to its highest and best use.
22. No in-depth inspection was made of existing plumbing (including well and septic), electrical, or heating systems. The market analyst does not warrant the condition or adequacy of such systems.
23. No in-depth inspection of existing insulation was made. It is specifically assumed no Urea Formaldehyde Foam Insulation (UFFI), or any other product banned or discouraged by the Consumer Product Safety Commission has been introduced into the property. The market analyst reserves the right to review and/or modify this market study if said insulation exists on the Subject property.
24. Estimates presented in this report are assignable to parties to the development's financial structure.

ADDENDUM B
Subject Property and Neighborhood Photographs

PHOTOGRAPHS OF SUBJECT AND NEIGHBORHOOD



Subject exterior and parking lot



Subject exterior



Subject exterior and signage



Subject exterior and parking lot entrance



Subject exterior and parking lot



Subject picnic area



Subject playground



Subject central laundry facility



Subject central laundry facility



Subject entrance



Subject management office (to be converted to a revenue-generating unit)



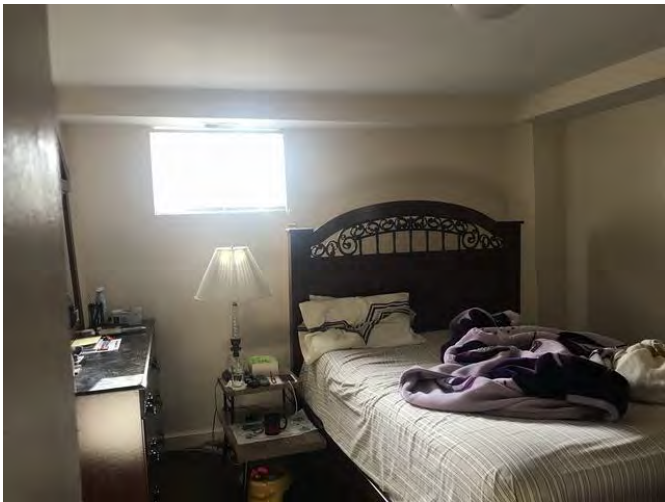
Subject management office (to be converted to a revenue-generating unit)



Subject community room



Subject community room and business center



Typical bedroom



Typical bathroom



Typical living room



Typical kitchen



Single-family homes adjacent to the Subject site being demolished to make way for townhome condominiums



Residential uses in the Subject's neighborhood



Residential uses in the Subject's neighborhood



Residential uses in the Subject's neighborhood



House of worship east of the Subject



St. Thomas More Cathedral School east of the Subject



Grocery store north of the Subject



American Legion north of the Subject



View east from the Subject



American Cross building directly southwest of the Subject to be demolished to make way for The Cadence, a new construction LIHTC property

ADDENDUM C
Subject Matrices and Property Profiles

SUMMARY MATRIX

Comp #	Property Name	Distance to Subject	Type / Built / Renovated	Rent Structure	Unit Description	#	%	Size (SF)	Restriction	Rent (Adj)	Max Rent?	Waiting List?	Vacant Units	Vacancy Rate
Subject	Whitefield Commons 106 North Thomas Street Arlington, VA 22203 Arlington County	-	Garden 3-stories 1944 / 2005 Family	@50%, @60%, Market	1BR / 1BA	17	25.0%	735	@50%	\$1,058	No	N/A	N/A	N/A
					1BR / 1BA	13	19.1%	735	@60%	\$1,286	No	N/A	N/A	N/A
					2BR / 1.5BA	16	23.5%	860	@50%	\$1,264	No	N/A	N/A	N/A
					2BR / 1.5BA	19	27.9%	860	@60%	\$1,537	No	N/A	N/A	N/A
					2BR / 1.5BA	1	1.5%	860	Market	\$1,638	N/A	N/A	N/A	N/A
					3BR / 2BA	1	1.5%	975	@50%	\$1,452	No	N/A	N/A	N/A
					3BR / 2BA	1	1.5%	975	@60%	\$1,771	No	N/A	N/A	N/A
					68							N/A	N/A	
1	Arlington Mill Residences 909 South Dinwiddie Street Arlington, VA 22204 Arlington County	1.1 miles	Midrise 4-stories 2014 / n/a Family	@30% (Section 8), @50%, @60%	0BR / 1BA	8	6.6%	422	@30% (Section 8)	-	N/A	Yes	0	0.0%
					1BR / 1BA	1	0.8%	642	@30% (Section 8)	-	N/A	Yes	0	0.0%
					1BR / 1BA	7	5.7%	642	@50%	\$1,055	Yes	Yes	0	0.0%
					1BR / 1BA	8	6.6%	642	@60%	\$1,282	Yes	Yes	0	0.0%
					2BR / 1.5BA	3	2.5%	986	@30% (Section 8)	-	N/A	Yes	0	0.0%
					2BR / 1.5BA	13	10.7%	986	@50%	\$1,261	Yes	Yes	0	0.0%
					2BR / 1.5BA	56	45.9%	986	@60%	\$1,534	Yes	Yes	0	0.0%
					3BR / 2BA	1	0.8%	1,087	@30% (Section 8)	-	N/A	Yes	0	0.0%
					3BR / 2BA	9	7.4%	1,087	@50%	\$1,453	Yes	Yes	0	0.0%
					3BR / 2BA	16	13.1%	1,087	@60%	\$1,768	Yes	Yes	0	0.0%
										122				
2	Buchanan Gardens 914 South Buchanan Street Arlington, VA 22204 Arlington County	0.9 miles	Garden 3-stories 1949 / 2012 Family	@50% @60%	1BR / 1BA	24	21.6%	451	@50%	\$1,059	Yes	Yes	0	0.0%
					1BR / 1BA	31	27.9%	451	@60%	\$1,286	Yes	Yes	0	0.0%
					2BR / 1BA	33	29.7%	850	@60%	\$1,541	Yes	Yes	0	0.0%
					3BR / 1BA	23	20.7%	1,200	@60%	\$1,777	Yes	Yes	0	0.0%
										111				
3	Historic Ballston Park Apartments 351 N. Glebe Road Arlington, VA 22203 Arlington County	0.3 miles	Various 2-stories 1930 / 1996 Family	@60%, Market	0BR / 1BA	N/A	N/A	490	@60%	\$1,175	Yes	Yes	0	0.0%
					0BR / 1BA	N/A	N/A	490	Market	\$1,565	N/A	Yes	0	0.0%
					1BR / 1BA	N/A	N/A	680	@60%	\$1,267	Yes	Yes	0	0.0%
					1BR / 1BA	N/A	N/A	680	Market	\$1,615	N/A	Yes	0	0.0%
					2BR / 1BA	N/A	N/A	900	@60%	\$1,553	Yes	Yes	0	0.0%
					2BR / 1BA	N/A	N/A	900	Market	\$2,300	N/A	Yes	0	0.0%
					2BR / 1BA	N/A	N/A	900	Market	\$2,995	N/A	Yes	0	0.0%
					3BR / 1BA	6	1.2%	1,300	Market	\$3,185	N/A	Yes	0	0.0%
					512					0	0.0%			
4	The Jordan 801 N Wakefield Street Arlington, VA 22203 Arlington County	0.6 miles	Midrise 4-stories 2011 / n/a Family	@50% @60%	1BR / 1BA	1	1.1%	498	@50%	\$1,105	Yes	No	0	0.0%
					1BR / 1BA	2	2.2%	549	@50%	\$1,105	Yes	No	0	0.0%
					1BR / 1BA	2	2.2%	498	@60%	\$1,332	Yes	No	0	0.0%
					1BR / 1BA	9	10.0%	549	@60%	\$1,332	Yes	No	0	0.0%
					1BR / 1BA	3	3.3%	647	@60%	\$1,332	Yes	No	0	0.0%
					2BR / 1BA	8	8.9%	742	@50%	\$1,346	Yes	No	0	0.0%
					2BR / 1BA	1	1.1%	835	@50%	\$1,346	Yes	No	0	0.0%
					2BR / 1BA	8	8.9%	742	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 1BA	3	3.3%	835	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 2BA	5	5.6%	832	@50%	\$1,311	Yes	No	0	0.0%
					2BR / 2BA	29	32.2%	832	@60%	\$1,584	Yes	No	0	0.0%
					2BR / 2BA	14	15.6%	934	@60%	\$1,584	Yes	No	0	0.0%
					3BR / 2BA	1	1.1%	946	@50%	\$1,486	Yes	No	0	0.0%
3BR / 2BA	2	2.2%	946	@60%	\$1,802	Yes	No	0	0.0%					
3BR / 2BA	2	2.2%	1,028	@60%	\$1,802	Yes	No	0	0.0%					
					90					0	0.0%			
5	The Springs Apartments 555 North Thomas Street Arlington, VA 22203 Arlington County	0.6 miles	Midrise 5-stories 2016 / n/a Family	@40%, @50%, @60%, Market	0BR / 1BA	8	7.7%	396	@40%	\$828	Yes	Yes	0	0.0%
					0BR / 1BA	2	1.9%	396	@50%	\$1,040	Yes	Yes	0	0.0%
					1BR / 1BA	1	1.0%	583	@40%	\$872	Yes	Yes	0	0.0%
					1BR / 1BA	5	4.8%	583	@50%	\$1,100	Yes	Yes	0	0.0%
					1BR / 1BA	2	1.9%	583	@60%	\$1,327	Yes	Yes	0	0.0%
					1BR / 1BA	1	1.0%	583	Market	\$1,724	N/A	Yes	0	0.0%
					2BR / 1.5BA	1	1.0%	798	@40%	\$1,028	Yes	Yes	0	0.0%
					2BR / 1.5BA	21	20.2%	798	@50%	\$1,301	Yes	Yes	0	0.0%
					2BR / 1.5BA	37	35.6%	798	@60%	\$1,574	Yes	Yes	0	0.0%
					2BR / 1.5BA	4	3.9%	798	Market	\$1,950	N/A	Yes	0	0.0%
					3BR / 2BA	1	1.0%	1,002	@40%	\$1,160	Yes	Yes	0	0.0%
					3BR / 2BA	6	5.8%	1,002	@50%	\$1,475	Yes	Yes	0	0.0%
					3BR / 2BA	14	13.5%	1,002	@60%	\$1,791	Yes	Yes	0	0.0%
3BR / 2BA	1	1.0%	1,002	Market	\$2,341	N/A	Yes	0	0.0%					
					104					0	0.0%			
6	Birchwood Apartments 525 North Pollard Street Arlington, VA 22203 Arlington County	0.5 miles	Midrise 4-stories 2010 / n/a Family	Market	1BR / 1BA	34	35.1%	794	Market	\$2,135	N/A	No	0	0.0%
					2BR / 2BA	38	39.2%	1,068	Market	\$2,715	N/A	No	0	0.0%
					3BR / 3BA	25	25.8%	1,179	Market	\$3,434	N/A	No	0	0.0%
										97				
7	Henderson Park 4301 North Henderson Road Arlington, VA 22203 Arlington County	0.4 miles	Midrise 4-stories 2014 / n/a Family	Market	1BR / 1BA	12	18.2%	680	Market	\$1,995	N/A	No	0	0.0%
					2BR / 2BA	15	22.7%	1,100	Market	\$2,775	N/A	No	0	0.0%
					3BR / 2BA	33	50.0%	1,100	Market	\$3,145	N/A	No	1	3.0%
					3BR / 2.5BA	6	9.1%	1,330	Market	\$3,385	N/A	No	0	0.0%
					66					1	1.5%			
8	Oakland Apartments 3710 Columbia Pike Arlington, VA 22204 Arlington County	0.9 miles	Garden 3-stories 1956 / 2013 Family	Market	0BR / 1BA	44	18.0%	400	Market	\$1,088	N/A	No	0	0.0%
					0BR / 1BA	N/A	N/A	400	Market	\$1,098	N/A	No	0	0.0%
					0BR / 1BA	N/A	N/A	400	Market	\$1,078	N/A	No	0	0.0%
					1BR / 1BA	79	32.2%	600	Market	\$1,260	N/A	No	0	0.0%
					1BR / 1BA	N/A	N/A	600	Market	\$1,322	N/A	No	0	0.0%
					1BR / 1BA	N/A	N/A	600	Market	\$1,197	N/A	No	0	0.0%
					2BR / 1BA	80	32.7%	900	Market	\$1,585	N/A	No	0	0.0%
					2BR / 1BA	N/A	N/A	900	Market	\$1,615	N/A	No	0	0.0%
					2BR / 1BA	N/A	N/A	900	Market	\$1,555	N/A	No	0	0.0%
					3BR / 1BA	42	17.1%	1,200	Market	\$1,866	N/A	No	0	0.0%
					3BR / 1BA	N/A	N/A	1,200	Market	\$1,881	N/A	No	0	0.0%
					3BR / 1BA	N/A	N/A	1,200	Market	\$1,851	N/A	No	0	0.0%
					245					0	0.0%			
9	Quinton Arms Apartments 4020 Washington Boulevard Arlington, VA 22201 Arlington County	1.0 miles	Midrise 5-stories 1961 / n/a Family	Market	0BR / 1BA	9	20.0%	542	Market	\$1,502	N/A	No	0	0.0%
					1BR / 1BA	18	40.0%	695	Market	\$1,610	N/A	No	0	0.0%
					2BR / 1BA	18	40.0%	935	Market	\$2,216	N/A	No	0	0.0%
					45					0	0.0%			
10	The Maxwell 4200 North Carlin Springs Road Arlington, VA 22203 Arlington County	0.6 miles	Midrise 6-stories 2014 / n/a Family	Market	0BR / 1BA	48	29.5%	603	Market	\$2,074	N/A	No	0	0.0%
					1BR / 1BA	94	57.7%	688	Market	\$2,232	N/A	No	0	0.0%
					2BR / 1BA	10	6.1%	881	Market	\$2,820	N/A	No	0	0.0%
					2BR / 2BA	11	6.8%	1,014	Market	\$3,049	N/A	No	1	9.1%
										163				
11	Thomas Court 470 North Thomas Court Arlington, VA 22203 Arlington County	0.5 miles	Midrise 4-stories 2012 / n/a Family	Market	1BR / 1BA	6	12.2%	802	Market	\$1,925	N/A	No	0	0.0%
					1BR / 2BA	21	42.9%	946	Market	\$2,455	N/A	No	0	0.0%
					2BR / 1BA	10	20.4%	946	Market	\$2,495	N/A	No	0	0.0%
					2BR / 2BA	10	20.4%	1,064	Market	\$2,695	N/A	No	0	0.0%
					3BR / 3BA	1	2.0%	1,433	Market	\$3,375	N/A	No	0	0.0%
					3BR / 3BA	1	2.0%	1,612	Market	\$3,675	N/A	No	0	0.0%
					49					0	0.0%			

RENT AND SQUARE FOOTAGE RANKING – All rents adjusted for utilities and concessions extracted from the market.

		Units Surveyed:	1,604	Weighted Occupancy:	99.9%		
		Market Rate	665	Market Rate	99.7%		
		Tax Credit	939	Tax Credit	100.0%		
		One Bedroom One Bath		Two Bedroom One and a Half Bath		Three Bedroom Two Bath	
		Property	Average	Property	Average	Property	Average
RENT	Thomas Court (Market)(2BA)	\$2,455	The Maxwell (Market)(2BA)	\$3,049	Thomas Court (Market)(3BA)	\$3,675	
	The Maxwell (Market)	\$2,232	Historic Ballston Park Apartments (Market)(1BA)	\$2,995	Birchwood Apartments (Market)(3BA)	\$3,434	
	Birchwood Apartments (Market)	\$2,135	The Maxwell (Market)(1BA)	\$2,820	Henderson Park (Market)(2.5BA)	\$3,385	
	Henderson Park (Market)	\$1,995	Henderson Park (Market)(2BA)	\$2,775	Thomas Court (Market)(3BA)	\$3,375	
	Thomas Court (Market)	\$1,925	Birchwood Apartments (Market)(2BA)	\$2,715	Historic Ballston Park Apartments (Market)(1BA)	\$3,185	
	The Springs Apartments (Market)	\$1,724	Thomas Court (Market)(2BA)	\$2,695	Henderson Park (Market)	\$3,145	
	Historic Ballston Park Apartments (Market)	\$1,615	Thomas Court (Market)(1BA)	\$2,495	The Springs Apartments (Market)	\$2,341	
	Quinton Arms Apartments (Market)	\$1,610	Historic Ballston Park Apartments (Market)(1BA)	\$2,300	Oakland Apartments (Market)(1BA)	\$1,866	
	The Jordan (@60%)	\$1,332	Quinton Arms Apartments (Market)(1BA)	\$2,216	The Jordan (@60%)	\$1,802	
	The Jordan (@60%)	\$1,332	The Springs Apartments (Market)	\$1,950	The Jordan (@60%)	\$1,802	
	The Springs Apartments (@60%)	\$1,327	Whitefield Commons (Market)	\$1,638	The Springs Apartments (@60%)	\$1,791	
	Buchanan Gardens (@60%)	\$1,286	Oakland Apartments (Market)(1BA)	\$1,585	Buchanan Gardens (@60%)(1BA)	\$1,777	
	Whitefield Commons (@60%)	\$1,286	The Jordan (@60%)(1BA)	\$1,584	Whitefield Commons (@60%)	\$1,771	
	Arlington Mill Residences (@60%)	\$1,282	The Jordan (@60%)(2BA)	\$1,584	Arlington Mill Residences (@60%)	\$1,768	
	Historic Ballston Park Apartments (@60%)	\$1,267	The Jordan (@60%)(1BA)	\$1,584	The Jordan (@50%)	\$1,486	
	Oakland Apartments (Market)	\$1,260	The Jordan (@60%)(2BA)	\$1,584	The Springs Apartments (@50%)	\$1,475	
	The Jordan (@50%)	\$1,105	The Springs Apartments (@60%)	\$1,574	Arlington Mill Residences (@50%)	\$1,453	
	The Jordan (@50%)	\$1,105	Historic Ballston Park Apartments (@60%)(1BA)	\$1,553	Whitefield Commons (@50%)	\$1,452	
	The Springs Apartments (@50%)	\$1,100	Buchanan Gardens (@60%)(1BA)	\$1,541	The Springs Apartments (@40%)	\$1,160	
	Buchanan Gardens (@50%)	\$1,059	Whitefield Commons (@60%)	\$1,537			
	Whitefield Commons (@50%)	\$1,058	Arlington Mill Residences (@60%)	\$1,534			
	Arlington Mill Residences (@50%)	\$1,055	The Jordan (@50%)(1BA)	\$1,346			
	The Springs Apartments (@40%)	\$872	The Jordan (@50%)(1BA)	\$1,346			
			The Jordan (@50%)(2BA)	\$1,311			
			The Springs Apartments (@50%)	\$1,301			
		Whitefield Commons (@50%)	\$1,264				
		Arlington Mill Residences (@50%)	\$1,261				
		The Springs Apartments (@40%)	\$1,028				
SQUARE FOOTAGE	Thomas Court (Market)(2BA)	946	Henderson Park (Market)(2BA)	1,100	Thomas Court (Market)(3BA)	1,612	
	Thomas Court (Market)	802	Birchwood Apartments (Market)(2BA)	1,068	Thomas Court (Market)(3BA)	1,433	
	Birchwood Apartments (Market)	794	Thomas Court (Market)(2BA)	1,064	Henderson Park (Market)(2.5BA)	1,330	
	Whitefield Commons (@60%)	735	The Maxwell (Market)(2BA)	1,014	Historic Ballston Park Apartments (Market)(1BA)	1,300	
	Whitefield Commons (@50%)	735	Arlington Mill Residences (@30%)	986	Buchanan Gardens (@60%)(1BA)	1,200	
	Quinton Arms Apartments (Market)	695	Arlington Mill Residences (@50%)	986	Oakland Apartments (Market)(1BA)	1,200	
	The Maxwell (Market)	688	Arlington Mill Residences (@60%)	986	Birchwood Apartments (Market)(3BA)	1,179	
	Henderson Park (Market)	680	Thomas Court (Market)(1BA)	946	Henderson Park (Market)	1,100	
	Historic Ballston Park Apartments (@60%)	680	Quinton Arms Apartments (Market)(1BA)	935	Arlington Mill Residences (@30%)	1,087	
	Historic Ballston Park Apartments (Market)	680	The Jordan (@60%)(2BA)	934	Arlington Mill Residences (@50%)	1,087	
	The Jordan (@60%)	647	Oakland Apartments (Market)(1BA)	900	Arlington Mill Residences (@60%)	1,087	
	Arlington Mill Residences (@60%)	642	Historic Ballston Park Apartments (Market)(1BA)	900	The Jordan (@60%)	1,028	
	Arlington Mill Residences (@30%)	642	Historic Ballston Park Apartments (@60%)(1BA)	900	The Springs Apartments (@40%)	1,002	
	Arlington Mill Residences (@50%)	642	Historic Ballston Park Apartments (Market)(1BA)	900	The Springs Apartments (@50%)	1,002	
	Oakland Apartments (Market)	600	The Maxwell (Market)(1BA)	881	The Springs Apartments (@60%)	1,002	
	The Springs Apartments (@40%)	583	Whitefield Commons (@60%)	860	The Springs Apartments (Market)	1,002	
	The Springs Apartments (@60%)	583	Whitefield Commons (@50%)	860	Whitefield Commons (@50%)	975	
	The Springs Apartments (Market)	583	Whitefield Commons (Market)	860	Whitefield Commons (@60%)	975	
	The Springs Apartments (@50%)	583	Buchanan Gardens (@60%)(1BA)	850	The Jordan (@50%)	946	
	The Jordan (@60%)	549	The Jordan (@50%)(1BA)	835	The Jordan (@60%)	946	
	The Jordan (@50%)	549	The Jordan (@60%)(1BA)	835			
	The Jordan (@50%)	498	The Jordan (@60%)(2BA)	832			
	The Jordan (@60%)	498	The Jordan (@50%)(2BA)	832			
	Buchanan Gardens (@60%)	451	The Springs Apartments (@50%)	798			
	Buchanan Gardens (@50%)	451	The Springs Apartments (Market)	798			
		The Springs Apartments (@60%)	798				
		The Springs Apartments (@40%)	798				
		The Jordan (@60%)(1BA)	742				
		The Jordan (@50%)(1BA)	742				
RENT PER SQUARE FOOT	The Maxwell (Market)	\$3.24	Historic Ballston Park Apartments (Market)(1BA)	\$3.33	Birchwood Apartments (Market)(3BA)	\$2.91	
	The Springs Apartments (Market)	\$2.96	The Maxwell (Market)(1BA)	\$3.20	Henderson Park (Market)	\$2.86	
	Henderson Park (Market)	\$2.93	Thomas Court (Market)(2BA)	\$3.01	Henderson Park (Market)(2.5BA)	\$2.55	
	Buchanan Gardens (@60%)	\$2.85	Thomas Court (Market)(1BA)	\$2.64	Historic Ballston Park Apartments (Market)(1BA)	\$2.45	
	Birchwood Apartments (Market)	\$2.69	Historic Ballston Park Apartments (Market)(1BA)	\$2.56	Thomas Court (Market)(3BA)	\$2.36	
	The Jordan (@60%)	\$2.67	Birchwood Apartments (Market)(2BA)	\$2.54	The Springs Apartments (Market)	\$2.34	
	Thomas Court (Market)(2BA)	\$2.60	Thomas Court (Market)(2BA)	\$2.53	Thomas Court (Market)(3BA)	\$2.28	
	The Jordan (@60%)	\$2.43	Henderson Park (Market)(2BA)	\$2.52	The Jordan (@60%)	\$1.90	
	Thomas Court (Market)	\$2.40	The Springs Apartments (Market)	\$2.44	Whitefield Commons (@60%)	\$1.82	
	Historic Ballston Park Apartments (Market)	\$2.38	Quinton Arms Apartments (Market)(1BA)	\$2.37	The Springs Apartments (@60%)	\$1.79	
	Buchanan Gardens (@50%)	\$2.35	The Jordan (@60%)(1BA)	\$2.13	The Jordan (@60%)	\$1.75	
	Quinton Arms Apartments (Market)	\$2.32	The Springs Apartments (@60%)	\$1.97	Arlington Mill Residences (@60%)	\$1.63	
	The Springs Apartments (@60%)	\$2.28	Whitefield Commons (Market)	\$1.90	The Jordan (@50%)	\$1.57	
	The Jordan (@50%)	\$2.22	The Jordan (@60%)(2BA)	\$1.90	Oakland Apartments (Market)(1BA)	\$1.56	
	Oakland Apartments (Market)	\$2.10	The Jordan (@60%)(1BA)	\$1.90	Whitefield Commons (@50%)	\$1.49	
	The Jordan (@60%)	\$2.06	The Jordan (@50%)(1BA)	\$1.81	Buchanan Gardens (@60%)(1BA)	\$1.48	
	The Jordan (@50%)	\$2.01	Buchanan Gardens (@60%)(1BA)	\$1.81	The Springs Apartments (@50%)	\$1.47	
	Arlington Mill Residences (@60%)	\$2.00	Whitefield Commons (@60%)	\$1.79	Arlington Mill Residences (@50%)	\$1.34	
	The Springs Apartments (@50%)	\$1.89	Oakland Apartments (Market)(1BA)	\$1.76	The Springs Apartments (@40%)	\$1.16	
	Historic Ballston Park Apartments (@60%)	\$1.86	Historic Ballston Park Apartments (@60%)(1BA)	\$1.73			
	Whitefield Commons (@60%)	\$1.75	The Jordan (@60%)(2BA)	\$1.70			
	Arlington Mill Residences (@50%)	\$1.64	The Springs Apartments (@50%)	\$1.63			
	The Springs Apartments (@40%)	\$1.50	The Jordan (@50%)(1BA)	\$1.61			
	Whitefield Commons (@50%)	\$1.44	The Jordan (@50%)(2BA)	\$1.58			
			Arlington Mill Residences (@60%)	\$1.56			
		Whitefield Commons (@50%)	\$1.47				
		The Springs Apartments (@40%)	\$1.29				
		Arlington Mill Residences (@50%)	\$1.28				

PROPERTY PROFILE REPORT

Arlington Mill Residences

Effective Rent Date	12/06/2019
Location	909 South Dinwiddie Street Arlington, VA 22204 Arlington County
Distance	1.1 miles
Units	122
Vacant Units	0
Vacancy Rate	0.0%
Type	Midrise (4 stories)
Year Built/Renovated	2014 / N/A
Marketing Began	N/A
Leasing Began	2/28/2014
Last Unit Leased	4/30/2014
Major Competitors	Gilliam Place, Columbia Hills
Tenant Characteristics	Formerly homeless for the Section 8 units
Contact Name	Tara
Phone	703-566-6213



Market Information

Program	@30% (Section 8), @50%, @60%
Annual Turnover Rate	5%
Units/Month Absorbed	61
HCV Tenants	35%
Leasing Pace	Within one week
Annual Chg. in Rent	Increased to 2019 maximum
Concession	None
Waiting List	Two years in length

Utilities

A/C	not included -- central
Cooking	not included -- gas
Water Heat	not included -- electric
Heat	not included -- gas
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Midrise (4 stories)	8	422	N/A	\$0	@30% (Section 8)	Yes	0	0.0%	N/A	None
1	1	Midrise (4 stories)	1	642	N/A	\$0	@30% (Section 8)	Yes	0	0.0%	N/A	None
1	1	Midrise (4 stories)	7	642	\$1,055	\$0	@50%	Yes	0	0.0%	yes	None
1	1	Midrise (4 stories)	8	642	\$1,282	\$0	@60%	Yes	0	0.0%	yes	None
2	1.5	Midrise (4 stories)	3	986	N/A	\$0	@30% (Section 8)	Yes	0	0.0%	N/A	None
2	1.5	Midrise (4 stories)	13	986	\$1,261	\$0	@50%	Yes	0	0.0%	yes	None
2	1.5	Midrise (4 stories)	56	986	\$1,534	\$0	@60%	Yes	0	0.0%	yes	None
3	2	Midrise (4 stories)	1	1,087	N/A	\$0	@30% (Section 8)	Yes	0	0.0%	N/A	None
3	2	Midrise (4 stories)	9	1,087	\$1,453	\$0	@50%	Yes	0	0.0%	yes	None
3	2	Midrise (4 stories)	16	1,087	\$1,768	\$0	@60%	Yes	0	0.0%	yes	None

Arlington Mill Residences, continued

Unit Mix

@30%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	N/A	\$0	N/A	\$0	N/A	1BR / 1BA	\$1,055	\$0	\$1,055	\$0	\$1,055
1BR / 1BA	N/A	\$0	N/A	\$0	N/A	2BR / 1.5BA	\$1,261	\$0	\$1,261	\$0	\$1,261
2BR / 1.5BA	N/A	\$0	N/A	\$0	N/A	3BR / 2BA	\$1,453	\$0	\$1,453	\$0	\$1,453
3BR / 2BA	N/A	\$0	N/A	\$0	N/A						

@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,282	\$0	\$1,282	\$0	\$1,282
2BR / 1.5BA	\$1,534	\$0	\$1,534	\$0	\$1,534
3BR / 2BA	\$1,768	\$0	\$1,768	\$0	\$1,768

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Intercom (Buzzer)	None
Carpeting	Central A/C	Limited Access	
Coat Closet	Dishwasher		
Ceiling Fan	Garbage Disposal		
Microwave	Oven		
Refrigerator			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	Planned social activities
Elevators	Exercise Facility		
Garage(\$25.00)	Central Laundry		
Off-Street Parking	On-Site Management		
Picnic Area	Playground		

Comments

The contact reported that all units restricted to 30 percent of AMI are set aside for formerly homeless individuals and families and are rented through the county. Unit sizes range from 628 to 656 for one-bedroom units, 855 to 1,117 for two-bedroom units, and 966 to 1,208 for three-bedroom units. The unit sizes shown are averages.

Arlington Mill Residences, continued

Trend Report

Vacancy Rates

3Q18	1Q19	3Q19	4Q19
0.0%	0.0%	0.0%	0.0%

Trend: @30%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	N/A	\$0	N/A	N/A
2019	1	0.0%	N/A	\$0	N/A	N/A
2019	3	0.0%	N/A	\$0	N/A	N/A
2019	4	0.0%	N/A	\$0	N/A	N/A

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	N/A	\$0	N/A	N/A
2019	1	0.0%	N/A	\$0	N/A	N/A
2019	3	0.0%	N/A	\$0	N/A	N/A
2019	4	0.0%	N/A	\$0	N/A	N/A

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	N/A	\$0	N/A	N/A
2019	1	0.0%	N/A	\$0	N/A	N/A
2019	3	0.0%	N/A	\$0	N/A	N/A
2019	4	0.0%	N/A	\$0	N/A	N/A

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	N/A	\$0	N/A	N/A
2019	1	0.0%	N/A	\$0	N/A	N/A
2019	3	0.0%	N/A	\$0	N/A	N/A
2019	4	0.0%	N/A	\$0	N/A	N/A

Trend: @50%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,020	\$0	\$1,020	\$1,020
2019	1	0.0%	\$1,020	\$0	\$1,020	\$1,020
2019	3	0.0%	\$1,020	\$0	\$1,020	\$1,020
2019	4	0.0%	\$1,055	\$0	\$1,055	\$1,055

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,222	\$0	\$1,222	\$1,222
2019	1	0.0%	\$1,222	\$0	\$1,222	\$1,222
2019	3	0.0%	\$1,222	\$0	\$1,222	\$1,222
2019	4	0.0%	\$1,261	\$0	\$1,261	\$1,261

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,409	\$0	\$1,409	\$1,409
2019	1	0.0%	\$1,409	\$0	\$1,409	\$1,409
2019	3	0.0%	\$1,409	\$0	\$1,409	\$1,409
2019	4	0.0%	\$1,453	\$0	\$1,453	\$1,453

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

Arlington Mill Residences, continued

Trend: @60%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,240	\$0	\$1,240	\$1,240
2019	1	0.0%	\$1,240	\$0	\$1,240	\$1,240
2019	3	0.0%	\$1,240	\$0	\$1,240	\$1,240
2019	4	0.0%	\$1,282	\$0	\$1,282	\$1,282

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,486	\$0	\$1,486	\$1,486
2019	1	0.0%	\$1,485	\$0	\$1,485	\$1,485
2019	3	0.0%	\$1,485	\$0	\$1,485	\$1,485
2019	4	0.0%	\$1,534	\$0	\$1,534	\$1,534

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,714	\$0	\$1,714	\$1,714
2019	1	0.0%	\$1,712	\$0	\$1,712	\$1,712
2019	3	0.0%	\$1,712	\$0	\$1,712	\$1,712
2019	4	0.0%	\$1,768	\$0	\$1,768	\$1,768

3BR / 3BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

Trend: Comments

3Q18 N/A

1Q19 The contact reported that all units restricted to 30 percent of AMI are set aside for formerly homeless individuals and families and are rented through the county. One parking spaces per unit is available for a \$25 monthly fee. Unit sizes range from 628 to 656 for one-bedroom units, 855 to 1,117 for two-bedroom units, and 966 to 1,208 for three-bedroom units. The unit sizes shown are averages.

3Q19 The contact reported that all units restricted to 30 percent of AMI are set aside for formerly homeless individuals and families and are rented through the county. One parking space per unit is available for a \$25 monthly fee. Unit sizes range from 628 to 656 for one-bedroom units, 855 to 1,117 for two-bedroom units, and 966 to 1,208 for three-bedroom units. The unit sizes shown are averages. The property was achieving the 2018 maximum allowable level for rents, but has not raised their rents to the 2019 maximum allowable level. The contact was unable to state why the rent did not increase to the 2019 maximum allowable level.

4Q19 The contact reported that all units restricted to 30 percent of AMI are set aside for formerly homeless individuals and families and are rented through the county. Unit sizes range from 628 to 656 for one-bedroom units, 855 to 1,117 for two-bedroom units, and 966 to 1,208 for three-bedroom units. The unit sizes shown are averages.

Photos



PROPERTY PROFILE REPORT

Buchanan Gardens

Effective Rent Date	12/02/2019
Location	914 South Buchanan Street Arlington, VA 22204 Arlington County
Distance	0.9 miles
Units	111
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	1949 / 2012
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	None identified
Contact Name	Putny
Phone	(703) 486-1126



Market Information

Program	@50%, @60%
Annual Turnover Rate	16%
Units/Month Absorbed	N/A
HCV Tenants	25%
Leasing Pace	Pre-leased
Annual Chg. in Rent	Increased 4%
Concession	None
Waiting List	Four to six months

Utilities

A/C	not included -- central
Cooking	not included -- gas
Water Heat	not included -- gas
Heat	not included -- gas
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Garden (3 stories)	24	451	\$1,059	\$0	@50%	Yes	0	0.0%	yes	None
1	1	Garden (3 stories)	31	451	\$1,286	\$0	@60%	Yes	0	0.0%	yes	None
2	1	Garden (3 stories)	33	850	\$1,541	\$0	@60%	Yes	0	0.0%	yes	None
3	1	Garden (3 stories)	23	1,200	\$1,777	\$0	@60%	Yes	0	0.0%	yes	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,059	\$0	\$1,059	\$0	\$1,059	1BR / 1BA	\$1,286	\$0	\$1,286	\$0	\$1,286
						2BR / 1BA	\$1,541	\$0	\$1,541	\$0	\$1,541
						3BR / 1BA	\$1,777	\$0	\$1,777	\$0	\$1,777

Buchanan Gardens, continued

Amenities

In-Unit		Security	Services
Blinds	Carpet/Hardwood	Limited Access	None
Carpeting	Central A/C		
Coat Closet	Dishwasher		
Ceiling Fan	Garbage Disposal		
Microwave	Oven		
Refrigerator			
Property		Premium	Other
Clubhouse/Meeting Room/Community	Central Laundry	None	None
Off-Street Parking	On-Site Management		
Playground			

Comments

This property was rehabilitated in stages over the 2010 to 2012 period. A community room and playground were added in addition to other renovations. Free on-site surface parking was expanded as well, which equates to an approximate ratio of one space per unit.

Buchanan Gardens, continued

Trend Report

Vacancy Rates

2Q18	1Q19	3Q19	4Q19
0.0%	0.0%	0.9%	0.0%

Trend: @50%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	2	0.0%	\$1,020	\$0	\$1,020	\$1,020
2019	1	0.0%	\$1,020	\$0	\$1,020	\$1,020
2019	3	0.0%	\$1,059	\$0	\$1,059	\$1,059
2019	4	0.0%	\$1,059	\$0	\$1,059	\$1,059

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

Trend: @60%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	2	0.0%	\$1,240	\$0	\$1,240	\$1,240
2019	1	0.0%	\$1,240	\$0	\$1,240	\$1,240
2019	3	0.0%	\$1,286	\$0	\$1,286	\$1,286
2019	4	0.0%	\$1,286	\$0	\$1,286	\$1,286

2BR / 0.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	2	0.0%	\$1,486	\$0	\$1,486	\$1,486
2019	1	0.0%	\$1,486	\$0	\$1,486	\$1,486
2019	3	3.0%	\$1,541	\$0	\$1,541	\$1,541
2019	4	0.0%	\$1,541	\$0	\$1,541	\$1,541

3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	2	0.0%	\$1,714	\$0	\$1,714	\$1,714
2019	1	0.0%	\$1,714	\$0	\$1,714	\$1,714
2019	3	0.0%	\$1,777	\$0	\$1,777	\$1,777
2019	4	0.0%	\$1,777	\$0	\$1,777	\$1,777

Trend: Comments

2Q18	N/A
1Q19	N/A
3Q19	This property was rehabilitated in stages over the 2010 to 2012 period. A community room and playground were added in addition to other renovations. Free on-site surface parking was expanded as well, which equates to an approximate ratio of one space per unit.
4Q19	N/A

Photos



PROPERTY PROFILE REPORT

Historic Ballston Park Apartments

Effective Rent Date	12/04/2019
Location	351 N. Glebe Road Arlington, VA 22203 Arlington County
Distance	0.3 miles
Units	512
Vacant Units	0
Vacancy Rate	0.0%
Type	Various (2 stories)
Year Built/Renovated	1930 / 1996
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Gates of Ballston
Tenant Characteristics	Mixed tenancy
Contact Name	Christina
Phone	703-526-9600



Market Information

Program	@60%, Market
Annual Turnover Rate	13%
Units/Month Absorbed	N/A
HCV Tenants	45%
Leasing Pace	Pre-leased to one week
Annual Chg. in Rent	LIHTC rent increased 4%
Concession	None
Waiting List	More than 200 households

Utilities

A/C	not included -- central
Cooking	not included -- gas
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Garden (2 stories)	N/A	490	\$1,175	\$0	@60%	Yes	0	N/A	yes	None
0	1	Garden (2 stories)	N/A	490	\$1,565	\$0	Market	Yes	0	N/A	N/A	None
1	1	Garden (2 stories)	N/A	680	\$1,267	\$0	@60%	Yes	0	N/A	yes	None
1	1	Garden (2 stories)	N/A	680	\$1,615	\$0	Market	Yes	0	N/A	N/A	None
2	1	Garden (2 stories)	N/A	900	\$1,553	\$0	@60%	Yes	0	N/A	yes	None
2	1	Garden (2 stories)	N/A	900	\$2,300	\$0	Market	Yes	0	N/A	N/A	None
2	1	Townhouse (2 stories)	N/A	900	\$2,995	\$0	Market	Yes	0	N/A	N/A	None
3	1	Townhouse (2 stories)	6	1,300	\$3,185	\$0	Market	Yes	0	0.0%	N/A	None

Unit Mix

@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$1,175	\$0	\$1,175	\$0	\$1,175	Studio / 1BA	\$1,565	\$0	\$1,565	\$0	\$1,565
1BR / 1BA	\$1,267	\$0	\$1,267	\$0	\$1,267	1BR / 1BA	\$1,615	\$0	\$1,615	\$0	\$1,615
2BR / 1BA	\$1,553	\$0	\$1,553	\$0	\$1,553	2BR / 1BA	\$2,300 - \$2,995	\$0	\$2,300 - \$2,995	\$0	\$2,300 - \$2,995
						3BR / 1BA	\$3,185	\$0	\$3,185	\$0	\$3,185

Historic Ballston Park Apartments, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	In-Unit Alarm	None
Carpeting	Central A/C	Intercom (Buzzer)	
Coat Closet	Dishwasher	Limited Access	
Exterior Storage	Ceiling Fan		
Garbage Disposal	Microwave		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer		
Washer/Dryer hookup			
Property		Premium	Other
Clubhouse/Meeting Room/Community	Courtyard	None	None
Exercise Facility	Central Laundry		
Off-Street Parking	On-Site Management		
Playground	Swimming Pool		

Comments

The rent for the market rate units fluctuates depending on demand.

Historic Ballston Park Apartments, continued

Trend Report

Vacancy Rates

4Q17	1Q19	3Q19	4Q19
1.4%	1.0%	0.0%	0.0%

Trend: @60%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,129	\$0	\$1,129	\$1,129
2019	1	N/A	\$1,221	\$0	\$1,221	\$1,221
2019	3	N/A	\$1,267	\$0	\$1,267	\$1,267
2019	4	N/A	\$1,267	\$0	\$1,267	\$1,267

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,386	\$0	\$1,386	\$1,386
2019	1	N/A	\$1,487	\$0	\$1,487	\$1,487
2019	3	N/A	\$1,553	\$0	\$1,553	\$1,553
2019	4	N/A	\$1,553	\$0	\$1,553	\$1,553

3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,632	\$0	\$1,632	\$1,632

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,041	\$0	\$1,041	\$1,041
2019	1	N/A	\$1,127	\$0	\$1,127	\$1,127
2019	3	N/A	\$1,175	\$0	\$1,175	\$1,175
2019	4	N/A	\$1,175	\$0	\$1,175	\$1,175

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,460 - \$1,525	\$0	\$1,460 - \$1,525	\$1,460 - \$1,525
2019	1	N/A	\$1,540 - \$1,620	\$0	\$1,540 - \$1,620	\$1,540 - \$1,620
2019	3	N/A	\$1,600	\$0	\$1,600	\$1,600
2019	4	N/A	\$1,615	\$0	\$1,615	\$1,615

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,995 - \$2,405	\$0	\$1,995 - \$2,405	\$1,995 - \$2,405
2019	1	N/A	\$1,995 - \$2,995	\$0	\$1,995 - \$2,995	\$1,995 - \$2,995
2019	3	N/A	\$2,300 - \$2,995	\$0	\$2,300 - \$2,995	\$2,300 - \$2,995
2019	4	N/A	\$2,300 - \$2,995	\$0	\$2,300 - \$2,995	\$2,300 - \$2,995

3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$2,750	\$0	\$2,750	\$2,750
2019	1	0.0%	\$3,185	\$0	\$3,185	\$3,185
2019	3	0.0%	\$3,185	\$0	\$3,185	\$3,185
2019	4	0.0%	\$3,185	\$0	\$3,185	\$3,185

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	4	N/A	\$1,385	\$0	\$1,385	\$1,385
2019	1	N/A	\$1,470	\$0	\$1,470	\$1,470
2019	3	N/A	\$1,540	\$0	\$1,540	\$1,540
2019	4	N/A	\$1,565	\$0	\$1,565	\$1,565

Trend: Comments

4Q17	Contact indicated that the property maintains a waiting list of over 200 households. Rents for market rate units vary based on market and availability.
1Q19	Rents for market rate units vary based on market and availability.
3Q19	The rent for the market rate units fluctuates depending on demand. Some of the market rents did not change over the past year, and other market rents increased by 13 percent.
4Q19	The rent for the market rate units fluctuates depending on demand.

Photos



PROPERTY PROFILE REPORT

The Jordan

Effective Rent Date	12/02/2019
Location	801 N Wakefield Street Arlington, VA 22203 Arlington County
Distance	0.6 miles
Units	90
Vacant Units	0
Vacancy Rate	0.0%
Type	Midrise (4 stories)
Year Built/Renovated	2011 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Majority families, most of the tenants are from Arlington.
Contact Name	Alva
Phone	571-970-1876



Market Information

Program	@50%, @60%
Annual Turnover Rate	10%
Units/Month Absorbed	30
HCV Tenants	14%
Leasing Pace	Within one month
Annual Chg. in Rent	Increased four percent
Concession	None
Waiting List	None maintained

Utilities

A/C	not included -- central
Cooking	included -- gas
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	included

The Jordan, continued

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Midrise (4 stories)	1	498	\$1,060	\$0	@50%	No	0	0.0%	yes	None
1	1	Midrise (4 stories)	2	549	\$1,060	\$0	@50%	No	0	0.0%	yes	None
1	1	Midrise (4 stories)	2	498	\$1,287	\$0	@60%	No	0	0.0%	yes	None
1	1	Midrise (4 stories)	9	549	\$1,287	\$0	@60%	No	0	0.0%	yes	None
1	1	Midrise (4 stories)	3	647	\$1,287	\$0	@60%	No	0	0.0%	yes	None
2	1	Midrise (4 stories)	8	742	\$1,287	\$0	@50%	No	0	0.0%	yes	None
2	1	Midrise (4 stories)	1	835	\$1,287	\$0	@50%	No	0	0.0%	yes	None
2	1	Midrise (4 stories)	8	742	\$1,525	\$0	@60%	No	0	0.0%	yes	None
2	1	Midrise (4 stories)	3	835	\$1,525	\$0	@60%	No	0	0.0%	yes	None
2	2	Midrise (4 stories)	5	832	\$1,252	\$0	@50%	No	0	0.0%	yes	None
2	2	Midrise (4 stories)	29	832	\$1,525	\$0	@60%	No	0	0.0%	yes	None
2	2	Midrise (4 stories)	14	934	\$1,525	\$0	@60%	No	0	0.0%	yes	None
3	2	Midrise (4 stories)	1	946	\$1,415	\$0	@50%	No	0	0.0%	yes	None
3	2	Midrise (4 stories)	2	946	\$1,731	\$0	@60%	No	0	0.0%	yes	None
3	2	Midrise (4 stories)	2	1,028	\$1,731	\$0	@60%	No	0	0.0%	yes	None

Unit Mix

@50%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent	@60%	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,060	\$0	\$1,060	\$45	\$1,105	1BR / 1BA	\$1,287	\$0	\$1,287	\$45	\$1,332
2BR / 1BA	\$1,287	\$0	\$1,287	\$59	\$1,346	2BR / 1BA	\$1,525	\$0	\$1,525	\$59	\$1,584
2BR / 2BA	\$1,252	\$0	\$1,252	\$59	\$1,311	2BR / 2BA	\$1,525	\$0	\$1,525	\$59	\$1,584
3BR / 2BA	\$1,415	\$0	\$1,415	\$71	\$1,486	3BR / 2BA	\$1,731	\$0	\$1,731	\$71	\$1,802

Amenities

In-Unit

Balcony/Patio
Carpeting
Coat Closet
Garbage Disposal
Oven
Walk-In Closet

Blinds
Central A/C
Dishwasher
Microwave
Refrigerator

Security

Intercom (Buzzer)
Limited Access

Services

None

Property

Business Center/Computer Lab
Courtyard
Garage(\$100.00)
Off-Street Parking
Picnic Area

Clubhouse/Meeting Room/Community
Elevators
Central Laundry
On-Site Management

Premium

None

Other

Library and daycare

Comments

The property does not charge a fee for premium amenities.

Trend Report

Vacancy Rates

4Q15	1Q19	3Q19	4Q19
3.3%	1.1%	0.0%	0.0%

Trend: @50%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$945	\$0	\$945	\$990
2019	1	0.0%	\$1,020	\$0	\$1,020	\$1,065
2019	3	0.0%	\$1,060	\$0	\$1,060	\$1,105
2019	4	0.0%	\$1,060	\$0	\$1,060	\$1,105

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,114	\$0	\$1,114	\$1,173
2019	1	0.0%	\$1,204	\$0	\$1,204	\$1,263
2019	3	0.0%	\$1,287	\$0	\$1,287	\$1,346
2019	4	0.0%	\$1,287	\$0	\$1,287	\$1,346

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,114	\$0	\$1,114	\$1,173
2019	1	0.0%	\$1,204	\$0	\$1,204	\$1,263
2019	3	0.0%	\$1,252	\$0	\$1,252	\$1,311
2019	4	0.0%	\$1,252	\$0	\$1,252	\$1,311

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,259	\$0	\$1,259	\$1,330
2019	1	0.0%	\$1,362	\$0	\$1,362	\$1,433
2019	3	0.0%	\$1,415	\$0	\$1,415	\$1,486
2019	4	0.0%	\$1,415	\$0	\$1,415	\$1,486

Trend: @60%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,150	\$0	\$1,150	\$1,195
2019	1	0.0%	\$1,240	\$0	\$1,240	\$1,285
2019	3	0.0%	\$1,287	\$0	\$1,287	\$1,332
2019	4	0.0%	\$1,287	\$0	\$1,287	\$1,332

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	27.3%	\$1,350	\$0	\$1,350	\$1,409
2019	1	9.1%	\$1,468	\$0	\$1,468	\$1,527
2019	3	0.0%	\$1,525	\$0	\$1,525	\$1,584
2019	4	0.0%	\$1,525	\$0	\$1,525	\$1,584

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,350	\$0	\$1,350	\$1,409
2019	1	0.0%	\$1,468	\$0	\$1,468	\$1,527
2019	3	0.0%	\$1,525	\$0	\$1,525	\$1,584
2019	4	0.0%	\$1,525	\$0	\$1,525	\$1,584

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2015	4	0.0%	\$1,543	\$0	\$1,543	\$1,614
2019	1	0.0%	\$1,667	\$0	\$1,667	\$1,738
2019	3	0.0%	\$1,731	\$0	\$1,731	\$1,802
2019	4	0.0%	\$1,731	\$0	\$1,731	\$1,802

Trend: Comments

4Q15	The contact stated that turnover at the property is due to job transfers, tenants purchasing homes, and tenants moving out of state. The contact noted that there is a fee of \$100 dollars for garage parking. The property has 76 garage parking spaces, all of which are leased. The property does not charge a fee for premium amenities. All rents increased approximately three percent, except two-bedrooms at 60 percent, which increased approximately two percent, in March 2015.
1Q19	The contact stated that turnover at the property is due to job transfers, tenants purchasing homes, and tenants moving out of state. The contact noted that there is a fee of \$100 dollars for garage parking. The property has 76 garage parking spaces, all of which are leased. The property does not charge a fee for premium amenities.
3Q19	The contact noted that there is a fee of \$100 dollars for garage parking. The property has 76 garage parking spaces, all of which are leased. The property does not charge a fee for premium amenities. The property does not have a waiting list and operates on a first-come first-serve basis.
4Q19	The property does not charge a fee for premium amenities.

Photos



PROPERTY PROFILE REPORT

The Springs Apartments

Effective Rent Date 2/10/2020
Location 555 North Thomas Street
Arlington, VA 22203
Arlington County
Distance 0.6 miles
Units 104
Vacant Units 0
Vacancy Rate 0.0%
Type Midrise (5 stories)
Year Built/Renovated 2016 / N/A
Marketing Began 7/15/2016
Leasing Began 10/15/2016
Last Unit Leased 12/22/2017
Major Competitors None identified
Tenant Characteristics Mixed tenancy, several families
Contact Name Anna
Phone 703-888-1142



Market Information

Program @40%, @50%, @60%, Market
Annual Turnover Rate 5%
Units/Month Absorbed 46
HCV Tenants 10%
Leasing Pace Pre-leased
Annual Chg. in Rent Kept at Max; Increased 4%
Concession None
Waiting List Yes, eight months to one year

Utilities

A/C not included -- central
Cooking not included -- electric
Water Heat included -- gas
Heat not included -- electric
Other Electric not included
Water not included
Sewer not included
Trash Collection not included

The Springs Apartments, continued

Trend Report

Vacancy Rates

1Q19	3Q19	4Q19	1Q20
3.8%	0.0%	0.0%	0.0%

Trend: @40%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$794	\$0	\$794	\$841
2019	3	0.0%	\$825	\$0	\$825	\$872
2019	4	0.0%	\$825	\$0	\$825	\$872
2020	1	0.0%	\$825	\$0	\$825	\$872

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$933	\$0	\$933	\$991
2019	3	0.0%	\$970	\$0	\$970	\$1,028
2019	4	0.0%	\$970	\$0	\$970	\$1,028
2020	1	0.0%	\$970	\$0	\$970	\$1,028

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,049	\$0	\$1,049	\$1,117
2019	3	0.0%	\$1,092	\$0	\$1,092	\$1,160
2019	4	0.0%	\$1,092	\$0	\$1,092	\$1,160
2020	1	0.0%	\$1,092	\$0	\$1,092	\$1,160

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$762	\$0	\$762	\$799
2019	3	0.0%	\$791	\$0	\$791	\$828
2019	4	0.0%	\$791	\$0	\$791	\$828
2020	1	0.0%	\$791	\$0	\$791	\$828

Trend: @60%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,234	\$0	\$1,234	\$1,281
2019	3	0.0%	\$1,280	\$0	\$1,280	\$1,327
2019	4	0.0%	\$1,280	\$0	\$1,280	\$1,327
2020	1	0.0%	\$1,280	\$0	\$1,280	\$1,327

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	5.4%	\$1,460	\$0	\$1,460	\$1,518
2019	3	0.0%	\$1,516	\$0	\$1,516	\$1,574
2019	4	0.0%	\$1,516	\$0	\$1,516	\$1,574
2020	1	0.0%	\$1,516	\$0	\$1,516	\$1,574

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,658	\$0	\$1,658	\$1,726
2019	3	0.0%	\$1,723	\$0	\$1,723	\$1,791
2019	4	0.0%	\$1,723	\$0	\$1,723	\$1,791
2020	1	0.0%	\$1,723	\$0	\$1,723	\$1,791

Trend: @50%

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,014	\$0	\$1,014	\$1,061
2019	3	0.0%	\$1,053	\$0	\$1,053	\$1,100
2019	4	0.0%	\$1,053	\$0	\$1,053	\$1,100
2020	1	0.0%	\$1,053	\$0	\$1,053	\$1,100

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,196	\$0	\$1,196	\$1,254
2019	3	0.0%	\$1,243	\$0	\$1,243	\$1,301
2019	4	0.0%	\$1,243	\$0	\$1,243	\$1,301
2020	1	0.0%	\$1,243	\$0	\$1,243	\$1,301

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$1,353	\$0	\$1,353	\$1,421
2019	3	0.0%	\$1,407	\$0	\$1,407	\$1,475
2019	4	0.0%	\$1,407	\$0	\$1,407	\$1,475
2020	1	0.0%	\$1,407	\$0	\$1,407	\$1,475

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$967	\$0	\$967	\$1,004
2019	3	0.0%	\$1,003	\$0	\$1,003	\$1,040
2019	4	0.0%	\$1,003	\$0	\$1,003	\$1,040
2020	1	0.0%	\$1,003	\$0	\$1,003	\$1,040

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	100.0%	\$1,677	\$0	\$1,677	\$1,724
2019	3	0.0%	\$1,677	\$0	\$1,677	\$1,724
2019	4	0.0%	\$1,677	\$0	\$1,677	\$1,724
2020	1	0.0%	\$1,677	\$0	\$1,677	\$1,724

2BR / 1.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	25.0%	\$1,992	\$0	\$1,992	\$2,050
2019	3	0.0%	\$1,892	\$0	\$1,892	\$1,950
2019	4	0.0%	\$1,892	\$0	\$1,892	\$1,950
2020	1	0.0%	\$1,892	\$0	\$1,892	\$1,950

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$2,273	\$0	\$2,273	\$2,341
2019	3	0.0%	\$2,273	\$0	\$2,273	\$2,341
2019	4	0.0%	\$2,273	\$0	\$2,273	\$2,341
2020	1	0.0%	\$2,273	\$0	\$2,273	\$2,341

The Springs Apartments, continued

Trend: Comments

1Q19	Subterranean garage parking is available to tenants for an additional \$35 per month. All LIHTC units are pre-leased within two weeks from the wait list.
3Q19	N/A
4Q19	No additional comments.
1Q20	N/A

Photos



PROPERTY PROFILE REPORT

Birchwood Apartments

Effective Rent Date	12/04/2019
Location	525 North Pollard Street Arlington, VA 22203 Arlington County
Distance	0.5 miles
Units	97
Vacant Units	0
Vacancy Rate	0.0%
Type	Midrise (4 stories)
Year Built/Renovated	2010 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy, professionals and some out of state
Contact Name	Lorna
Phone	703-465-0050



Market Information

Program	Market
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Decreased 1% to increased 1%
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- gas
Water Heat	not included -- gas
Heat	not included -- electric
Other Electric	not included
Water	not included
Sewer	not included
Trash Collection	not included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Midrise (4 stories)	34	794	\$2,075	\$0	Market	No	0	0.0%	N/A	AVG*
1	1	Midrise (4 stories)	0	887	\$2,255	\$0	Market	No	0	N/A	N/A	HIGH
1	1	Midrise (4 stories)	0	700	\$1,895	\$0	Market	No	0	N/A	N/A	LOW
2	2	Midrise (4 stories)	38	1,068	\$2,640	\$0	Market	No	0	0.0%	N/A	AVG*
2	2	Midrise (4 stories)	0	1,210	\$2,755	\$0	Market	No	0	N/A	N/A	HIGH
2	2	Midrise (4 stories)	0	925	\$2,525	\$0	Market	No	0	N/A	N/A	LOW
3	3	Midrise (4 stories)	25	1,179	\$3,345	\$0	Market	No	0	0.0%	N/A	AVG*
3	3	Midrise (4 stories)	0	1,358	\$3,595	\$0	Market	No	0	N/A	N/A	HIGH
3	3	Midrise (4 stories)	0	1,000	\$3,095	\$0	Market	No	0	N/A	N/A	LOW

Birchwood Apartments, continued

Trend Report

Vacancy Rates

4Q18	1Q19	3Q19	4Q19
1.8%	4.1%	0.0%	0.0%

Trend: Market

1.5BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$1,895 - \$2,000	\$0	\$1,895 - \$2,000	\$1,955 - \$2,060
2019	1	N/A	\$1,895 - \$2,295	\$0	\$1,895 - \$2,295	\$1,955 - \$2,355
2019	3	0.0%	\$1,825 - \$2,255	\$0	\$1,825 - \$2,255	\$1,885 - \$2,315
2019	4	0.0%	\$1,895 - \$2,255	\$0	\$1,895 - \$2,255	\$1,955 - \$2,315

2.5BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$2,495 - \$2,650	\$0	\$2,495 - \$2,650	\$2,570 - \$2,725
2019	1	N/A	\$2,495 - \$2,755	\$0	\$2,495 - \$2,755	\$2,570 - \$2,830
2019	3	0.0%	\$2,525 - \$2,755	\$0	\$2,525 - \$2,755	\$2,600 - \$2,830
2019	4	0.0%	\$2,525 - \$2,755	\$0	\$2,525 - \$2,755	\$2,600 - \$2,830

3BR / 3.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$3,825	\$0	\$3,825	\$3,914
2019	1	N/A	\$3,825	\$0	\$3,825	\$3,914

3BR / 3BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	0.0%	\$3,595	\$0	\$3,595	\$3,684
2019	1	0.0%	\$3,500	\$0	\$3,500	\$3,589
2019	3	0.0%	\$3,095 - \$3,595	\$0	\$3,095 - \$3,595	\$3,184 - \$3,684
2019	4	0.0%	\$3,095 - \$3,595	\$0	\$3,095 - \$3,595	\$3,184 - \$3,684

Trend: Comments

4Q18	The property accepts Housing Choice Vouchers, however the contact was unable to disclose the number in use. Uncovered off-street parking is available for \$50 per month. Garage parking is available for \$70 per month. The contact reported separate utility fees that range from \$85 dollar per month up to \$130 per month, and this includes water, sewer, and trash collection. It is the tenants responsibility to pay for electricity.
1Q19	N/A
3Q19	The property accepts Housing Choice Vouchers, however the contact was unable to disclose the number in use. Uncovered off-street parking is available for \$50 per month. Garage parking is available for \$70 per month. The contact reported separate utility fees that range from \$85 dollar per month up to \$130 per month, and this includes water, sewer, and trash collection. It is the tenants responsibility to pay for electricity. The rent for the one-bedroom units decreased slightly and the rent for the two-bedroom units increased slightly. The contact stated the rents vary according to demand.
4Q19	N/A

Photos



PROPERTY PROFILE REPORT

Henderson Park

Effective Rent Date	2/10/2020
Location	4301 North Henderson Road Arlington, VA 22203 Arlington County
Distance	0.4 miles
Units	66
Vacant Units	1
Vacancy Rate	1.5%
Type	Midrise (4 stories)
Year Built/Renovated	2014 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Glenayr Apartments
Tenant Characteristics	Mixed tenancy, families
Contact Name	Stephani
Phone	(844) 829-3745



Market Information

Program	Market
Annual Turnover Rate	25%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within one week
Annual Chg. in Rent	See comments, LRO
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Midrise (4 stories)	12	680	\$1,995	\$0	Market	No	0	0.0%	N/A	None
2	2	Midrise (4 stories)	15	1,100	\$2,775	\$0	Market	No	0	0.0%	N/A	None
3	2	Midrise (4 stories)	33	1,100	\$3,145	\$0	Market	No	1	3.0%	N/A	None
3	2.5	Midrise (4 stories)	6	1,330	\$3,385	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,995	\$0	\$1,995	\$0	\$1,995
2BR / 2BA	\$2,775	\$0	\$2,775	\$0	\$2,775
3BR / 2BA	\$3,145	\$0	\$3,145	\$0	\$3,145
3BR / 2.5BA	\$3,385	\$0	\$3,385	\$0	\$3,385

Henderson Park, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Intercom (Buzzer)	None
Carpeting	Central A/C	Limited Access	
Coat Closet	Dishwasher	Video Surveillance	
Exterior Storage	Garbage Disposal		
Microwave	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Courtyard	Elevators		
Exercise Facility	Garage(\$50.00)		
Off-Street Parking	On-Site Management		
Picnic Area	Theatre		

Comments

The property does not accept Housing Choice Vouchers. Garage parking is available for an additional \$50 per month for a single space and \$100 per month for the second space. The property utilizes an LRO-system, so prices fluctuate daily. However, rents have either remained the same or decreased up to 2.4 percent since 2019.

Henderson Park, continued

Trend Report

Vacancy Rates

1Q19	3Q19	4Q19	1Q20
1.5%	0.0%	0.0%	1.5%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$2,045	\$0	\$2,045	\$2,045
2019	3	0.0%	\$2,045	\$0	\$2,045	\$2,045
2019	4	0.0%	\$2,045	\$0	\$2,045	\$2,045
2020	1	0.0%	\$1,995	\$0	\$1,995	\$1,995

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	6.7%	\$2,795	\$0	\$2,795	\$2,795
2019	3	0.0%	\$2,795	\$0	\$2,795	\$2,795
2019	4	0.0%	\$2,795	\$0	\$2,795	\$2,795
2020	1	0.0%	\$2,775	\$0	\$2,775	\$2,775

3BR / 2.5BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$3,295	\$0	\$3,295	\$3,295
2019	3	0.0%	\$3,295	\$0	\$3,295	\$3,295
2019	4	0.0%	\$3,385	\$0	\$3,385	\$3,385
2020	1	0.0%	\$3,385	\$0	\$3,385	\$3,385

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$3,145	\$0	\$3,145	\$3,145
2019	3	0.0%	\$3,145	\$0	\$3,145	\$3,145
2019	4	0.0%	\$3,155	\$0	\$3,155	\$3,155
2020	1	3.0%	\$3,145	\$0	\$3,145	\$3,145

Trend: Comments

1Q19	N/A
3Q19	The property does not accept Housing Choice Vouchers. Garage parking is available for an additional \$50 per month for a single space and \$100 per month for the second space. The property utilizes an LRO-system, so prices fluctuate daily. The contact could not provide an accurate estimate of current rent because the property is fully occupied. Rents were last updated on January 28, 2019.
4Q19	The property does not accept Housing Choice Vouchers. Garage parking is available for an additional \$50 per month for a single space and \$100 per month for the second space. The property utilizes an LRO-system, so prices fluctuate daily.
1Q20	The property does not accept Housing Choice Vouchers. Garage parking is available for an additional \$50 per month for a single space and \$100 per month for the second space. The property utilizes an LRO-system, so prices fluctuate daily. However, rents have either remained the same or decreased up to 2.4 percent since 2019.

Photos



PROPERTY PROFILE REPORT

Oakland Apartments

Effective Rent Date	12/04/2019
Location	3710 Columbia Pike Arlington, VA 22204 Arlington County
Distance	0.9 miles
Units	245
Vacant Units	0
Vacancy Rate	0.0%
Type	Garden (3 stories)
Year Built/Renovated	1956 / 2013
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Out of state university professionals and students, military and Pentagon workers
Contact Name	Jesse
Phone	(703) 574-3785



Market Information

Program	Market
Annual Turnover Rate	20%
Units/Month Absorbed	N/A
HCV Tenants	1%
Leasing Pace	Within two weeks
Annual Chg. in Rent	No increase
Concession	None
Waiting List	None

Utilities

A/C	not included -- wall
Cooking	included -- gas
Water Heat	included -- gas
Heat	included -- gas
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Garden (3 stories)	44	400	\$1,120	\$0	Market	No	0	0.0%	N/A	AVG
0	1	Garden (3 stories)	0	400	\$1,130	\$0	Market	No	0	N/A	N/A	HIGH
0	1	Garden (3 stories)	0	400	\$1,110	\$0	Market	No	0	N/A	N/A	LOW
1	1	Garden (3 stories)	79	600	\$1,303	\$0	Market	No	0	0.0%	N/A	AVG
1	1	Garden (3 stories)	0	600	\$1,365	\$0	Market	No	0	N/A	N/A	HIGH
1	1	Garden (3 stories)	0	600	\$1,240	\$0	Market	No	0	N/A	N/A	LOW
2	1	Garden (3 stories)	80	900	\$1,640	\$0	Market	No	0	0.0%	N/A	AVG
2	1	Garden (3 stories)	0	900	\$1,670	\$0	Market	No	0	N/A	N/A	HIGH
2	1	Garden (3 stories)	0	900	\$1,610	\$0	Market	No	0	N/A	N/A	LOW
3	1	Garden (3 stories)	42	1,200	\$1,935	\$0	Market	No	0	0.0%	N/A	AVG
3	1	Garden (3 stories)	0	1,200	\$1,950	\$0	Market	No	0	N/A	N/A	HIGH
3	1	Garden (3 stories)	0	1,200	\$1,920	\$0	Market	No	0	N/A	N/A	LOW

Oakland Apartments, continued

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$1,110 - \$1,130	\$0	\$1,110 - \$1,130	-\$32	\$1,078 - \$1,098
1BR / 1BA	\$1,240 - \$1,365	\$0	\$1,240 - \$1,365	-\$43	\$1,197 - \$1,322
2BR / 1BA	\$1,610 - \$1,670	\$0	\$1,610 - \$1,670	-\$55	\$1,555 - \$1,615
3BR / 1BA	\$1,920 - \$1,950	\$0	\$1,920 - \$1,950	-\$69	\$1,851 - \$1,881

Amenities

In-Unit		Security	Services
Blinds	Carpeting	Intercom (Buzzer)	None
Coat Closet	Dishwasher	Limited Access	
Exterior Storage	Ceiling Fan		
Garbage Disposal	Oven		
Refrigerator	Wall A/C		
Property		Premium	Other
Exercise Facility	Central Laundry	None	None
Off-Street Parking	On-Site Management		
Playground			

Comments

The range in rent depends on the location of the unit within the property. Ground floor units have a higher rent. The property offers one off-street parking space per unit for a total of 245 off-street parking spaces. There is no additional fee associated with off-street parking.

Trend Report

Vacancy Rates

1Q17	1Q19	3Q19	4Q19
1.2%	0.0%	0.4%	0.0%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	1	N/A	\$1,205 - \$1,310	\$0	\$1,205 - \$1,310	\$1,162 - \$1,267
2019	1	0.0%	\$1,300	\$0	\$1,300	\$1,257
2019	3	0.0%	\$1,240 - \$1,365	\$0	\$1,240 - \$1,365	\$1,197 - \$1,322
2019	4	0.0%	\$1,240 - \$1,365	\$0	\$1,240 - \$1,365	\$1,197 - \$1,322

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	1	N/A	\$1,530 - \$1,575	\$0	\$1,530 - \$1,575	\$1,475 - \$1,520
2019	1	0.0%	\$1,660	\$0	\$1,660	\$1,605
2019	3	0.0%	\$1,610 - \$1,660	\$0	\$1,610 - \$1,660	\$1,555 - \$1,605
2019	4	0.0%	\$1,610 - \$1,670	\$0	\$1,610 - \$1,670	\$1,555 - \$1,615

3BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	1	N/A	\$1,845 - \$1,880	\$0	\$1,845 - \$1,880	\$1,776 - \$1,811
2019	1	0.0%	\$1,935	\$0	\$1,935	\$1,866
2019	3	2.4%	\$1,920 - \$1,950	\$0	\$1,920 - \$1,950	\$1,851 - \$1,881
2019	4	0.0%	\$1,920 - \$1,950	\$0	\$1,920 - \$1,950	\$1,851 - \$1,881

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2017	1	N/A	\$1,050 - \$1,090	\$0	\$1,050 - \$1,090	\$1,018 - \$1,058
2019	1	0.0%	\$1,110	\$0	\$1,110	\$1,078
2019	3	0.0%	\$1,110 - \$1,130	\$0	\$1,110 - \$1,130	\$1,078 - \$1,098
2019	4	0.0%	\$1,110 - \$1,130	\$0	\$1,110 - \$1,130	\$1,078 - \$1,098

Trend: Comments

1Q17	According to the manager, occupancy is typically 98 percent or higher. The property attracts a wide variety of tenants including students, seniors, recent immigrants, and moderate wage workers. . There is a \$25 to \$85 premium for unit size, floor level, view, etc.
1Q19	This property charges a premium for floor level, views, and unit size. The rent rates provided are based on next unit availability. The contact estimated the renovation year.
3Q19	The range in rent depends on the location of the unit within the property. Ground floor units have a higher rent. The property offers one off-street parking space per unit for a total of 245 off-street parking spaces. There is no additional fee associated with off-street parking.
4Q19	N/A

Photos



PROPERTY PROFILE REPORT

Quinton Arms Apartments

Effective Rent Date	12/02/2019
Location	4020 Washington Boulevard Arlington, VA 22201 Arlington County
Distance	1 mile
Units	45
Vacant Units	0
Vacancy Rate	0.0%
Type	Midrise (5 stories)
Year Built/Renovated	1961 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Library Court, 1020 Quincy
Tenant Characteristics	Young professionals, young families, some elderly from out of the area
Contact Name	Brittany
Phone	703-807-0803



Market Information

Program	Market
Annual Turnover Rate	4%
Units/Month Absorbed	0
HCV Tenants	0%
Leasing Pace	Within 3 weeks
Annual Chg. in Rent	No increase to increased 4%
Concession	None
Waiting List	None

Utilities

A/C	included -- central
Cooking	included -- electric
Water Heat	included -- gas
Heat	included -- gas
Other Electric	included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Midrise (5 stories)	9	542	\$1,550	\$0	Market	No	0	0.0%	N/A	None
1	1	Midrise (5 stories)	18	695	\$1,675	\$0	Market	No	0	0.0%	N/A	None
2	1	Midrise (5 stories)	18	935	\$2,300	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$1,550	\$0	\$1,550	-\$48	\$1,502
1BR / 1BA	\$1,675	\$0	\$1,675	-\$65	\$1,610
2BR / 1BA	\$2,300	\$0	\$2,300	-\$84	\$2,216

Quinton Arms Apartments, continued

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Intercom (Buzzer)	None
Carpet/Hardwood	Central A/C	Limited Access	
Coat Closet	Dishwasher		
Exterior Storage	Garbage Disposal		
Microwave	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer	Washer/Dryer hookup		
Property		Premium	Other
Elevators	Exercise Facility	None	None
Off-Street Parking	On-Site Management		
Picnic Area			

Comments

The property does not accept Housing Choice Vouchers. The property offers one off-street parking space per unit for a total of 45 off-street parking spaces. There is no extra fee associated with off-street parking. Since January 2019, the rent for the studio and two-bedroom units increased by three and four percent, respectively, and the rent for the one-bedroom units remained the same. The contact stated the property has not undergone any major renovations since the property was constructed in 1961. However, the units have had unspecified upgrades over the years.

Quinton Arms Apartments, continued

Trend Report

Vacancy Rates

3Q18	1Q19	3Q19	4Q19
0.0%	0.0%	0.0%	0.0%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,675	\$0	\$1,675	\$1,610
2019	1	0.0%	\$1,675	\$0	\$1,675	\$1,610
2019	3	0.0%	\$1,675	\$0	\$1,675	\$1,610
2019	4	0.0%	\$1,675	\$0	\$1,675	\$1,610

2.5BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$2,100	\$0	\$2,100	\$2,016
2019	1	0.0%	\$2,200	\$0	\$2,200	\$2,116
2019	3	0.0%	\$2,300	\$0	\$2,300	\$2,216
2019	4	0.0%	\$2,300	\$0	\$2,300	\$2,216

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

3BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
------	----	------	-----------	-------	-------------	-----------

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	3	0.0%	\$1,450	\$0	\$1,450	\$1,402
2019	1	0.0%	\$1,500	\$0	\$1,500	\$1,452
2019	3	0.0%	\$1,550	\$0	\$1,550	\$1,502
2019	4	0.0%	\$1,550	\$0	\$1,550	\$1,502

Trend: Comments

3Q18	The property does not have a wait list and does not accept vouchers. The contact reported ongoing renovations upon turnover. The property does not have a wait list and does not accept vouchers.
1Q19	The property does not have a wait list and does not accept vouchers.
3Q19	The property does not accept Housing Choice Vouchers. The property offers one off-street parking space per unit for a total of 45 off-street parking spaces. There is no extra fee associated with off-street parking. Since January 2019, the rent for the studio and two-bedroom units increased by three and four percent, respectively, and the rent for the one-bedroom units remained the same. The contact stated the property has not undergone any major renovations since the property was constructed in 1961. However, the units have had unspecified upgrades over the years.
4Q19	N/A

Photos



PROPERTY PROFILE REPORT

The Maxwell

Effective Rent Date	2/10/2020
Location	4200 North Carlin Springs Road Arlington, VA 22203 Arlington County
Distance	0.6 miles
Units	163
Vacant Units	1
Vacancy Rate	0.6%
Type	Midrise (6 stories)
Year Built/Renovated	2014 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	None identified
Tenant Characteristics	Mixed tenancy, professionals and couples
Contact Name	Asia
Phone	(571) 446-2711



Market Information

Program	Market
Annual Turnover Rate	20%
Units/Month Absorbed	30
HCV Tenants	0%
Leasing Pace	Within one week
Annual Chg. in Rent	Rents vary daily
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
0	1	Midrise (6 stories)	48	603	\$2,074	\$0	Market	No	0	0.0%	N/A	None
1	1	Midrise (6 stories)	94	688	\$2,232	\$0	Market	No	0	0.0%	N/A	None
2	1	Midrise (6 stories)	10	881	\$2,820	\$0	Market	No	0	0.0%	N/A	None
2	2	Midrise (6 stories)	11	1,014	\$3,049	\$0	Market	No	1	9.1%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
Studio / 1BA	\$2,074	\$0	\$2,074	\$0	\$2,074
1BR / 1BA	\$2,232	\$0	\$2,232	\$0	\$2,232
2BR / 1BA	\$2,820	\$0	\$2,820	\$0	\$2,820
2BR / 2BA	\$3,049	\$0	\$3,049	\$0	\$3,049

Amenities

In-Unit		Security	Services
Balcony/Patio	Blinds	Intercom (Buzzer)	None
Carpet/Hardwood	Central A/C	Limited Access	
Coat Closet	Dishwasher	Video Surveillance	
Exterior Storage	Garbage Disposal		
Microwave	Oven		
Refrigerator	Walk-In Closet		
Washer/Dryer	Washer/Dryer hookup		
Property		Premium	Other
Business Center/Computer Lab	Courtyard	None	None
Elevators	Exercise Facility		
Garage(\$100.00)	Off-Street Parking		
On-Site Management	Picnic Area		
Recreation Areas			

Comments

The property does not accept Housing Choice Vouchers. Garage parking is available for an additional fee of \$100 per month. The property utilizes an LRO-system, so rent rates fluctuate daily. The unit sizes shown are averages.

Trend Report

Vacancy Rates

1Q19	3Q19	4Q19	1Q20
3.1%	2.5%	1.2%	0.6%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	0.0%	\$2,023	\$0	\$2,023	\$2,023
2019	3	2.1%	\$2,070	\$0	\$2,070	\$2,070
2019	4	1.1%	\$2,232	\$0	\$2,232	\$2,232
2020	1	0.0%	\$2,232	\$0	\$2,232	\$2,232

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	10.0%	\$2,529	\$0	\$2,529	\$2,529
2019	3	0.0%	\$2,750	\$0	\$2,750	\$2,750
2019	4	0.0%	\$2,820	\$0	\$2,820	\$2,820
2020	1	0.0%	\$2,820	\$0	\$2,820	\$2,820

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	9.1%	\$2,890	\$0	\$2,890	\$2,890
2019	3	0.0%	\$3,097	\$0	\$3,097	\$3,097
2019	4	0.0%	\$3,097	\$0	\$3,097	\$3,097
2020	1	9.1%	\$3,049	\$0	\$3,049	\$3,049

Studio / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2019	1	6.2%	\$1,931	\$0	\$1,931	\$1,931
2019	3	4.2%	\$1,980	\$0	\$1,980	\$1,980
2019	4	2.1%	\$2,064	\$0	\$2,064	\$2,064
2020	1	0.0%	\$2,074	\$0	\$2,074	\$2,074

Trend: Comments

1Q19	The property does not accept Housing Choice Vouchers. Garage parking is available for an additional fee of \$100 per month. The property utilizes an LRO-system, so rent rates fluctuate daily. The unit sizes shown are averages.
3Q19	N/A
4Q19	N/A
1Q20	N/A

Photos



PROPERTY PROFILE REPORT

Thomas Court

Effective Rent Date	12/05/2019
Location	470 North Thomas Court Arlington, VA 22203 Arlington County
Distance	0.5 miles
Units	49
Vacant Units	0
Vacancy Rate	0.0%
Type	Midrise (4 stories)
Year Built/Renovated	2012 / N/A
Marketing Began	N/A
Leasing Began	N/A
Last Unit Leased	N/A
Major Competitors	Henderson Park, Maxwell
Tenant Characteristics	Mixed tenancy, families and some seniors
Contact Name	Kendra
Phone	855-674-7939



Market Information

Program	Market
Annual Turnover Rate	30%
Units/Month Absorbed	N/A
HCV Tenants	0%
Leasing Pace	Within two weeks
Annual Chg. in Rent	Decreased 2% to increased 7%
Concession	None
Waiting List	None

Utilities

A/C	not included -- central
Cooking	not included -- electric
Water Heat	not included -- electric
Heat	not included -- electric
Other Electric	not included
Water	included
Sewer	included
Trash Collection	included

Unit Mix (face rent)

Beds	Baths	Type	Units	Size (SF)	Rent	Concession (monthly)	Restriction	Waiting List	Vacant	Vacancy Rate	Max Rent?	Range
1	1	Midrise (4 stories)	6	802	\$1,925	\$0	Market	No	0	0.0%	N/A	None
1	2	Midrise (4 stories)	21	946	\$2,455	\$0	Market	No	0	0.0%	N/A	None
2	1	Midrise (4 stories)	10	946	\$2,495	\$0	Market	No	0	0.0%	N/A	None
2	2	Midrise (4 stories)	10	1,064	\$2,695	\$0	Market	No	0	0.0%	N/A	None
3	3	Midrise (4 stories)	1	1,433	\$3,375	\$0	Market	No	0	0.0%	N/A	None
3	3	Midrise (4 stories)	1	1,612	\$3,675	\$0	Market	No	0	0.0%	N/A	None

Unit Mix

Market	Face Rent	Conc.	Concd. Rent	Util. Adj.	Adj. Rent
1BR / 1BA	\$1,925	\$0	\$1,925	\$0	\$1,925
1BR / 2BA	\$2,455	\$0	\$2,455	\$0	\$2,455
2BR / 1BA	\$2,495	\$0	\$2,495	\$0	\$2,495
2BR / 2BA	\$2,695	\$0	\$2,695	\$0	\$2,695
3BR / 3BA	\$3,375 - \$3,675	\$0	\$3,375 - \$3,675	\$0	\$3,375 - \$3,675

Amenities

In-Unit		Security	Services
Blinds	Carpeting	Intercom (Buzzer)	None
Central A/C	Coat Closet	Limited Access	
Dishwasher	Exterior Storage	Video Surveillance	
Garbage Disposal	Microwave		
Oven	Refrigerator		
Walk-In Closet	Washer/Dryer		
Washer/Dryer hookup			
Property		Premium	Other
Business Center/Computer Lab	Clubhouse/Meeting Room/Community	None	None
Courtyard	Elevators		
Exercise Facility	Garage(\$50.00)		
Off-Street Parking	On-Site Management		
Picnic Area	Recreation Areas		

Comments

The property utilizes daily pricing software. As such, rents change daily. The property does not accept Housing Choice Vouchers.

Trend Report

Vacancy Rates

4Q18	1Q19	3Q19	4Q19
2.0%	2.0%	0.0%	0.0%

Trend: Market

1BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$1,925	\$0	\$1,925	\$1,925
2019	1	0.0%	\$1,935	\$0	\$1,935	\$1,935
2019	3	0.0%	\$1,925	\$0	\$1,925	\$1,925
2019	4	0.0%	\$1,925	\$0	\$1,925	\$1,925

1BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$2,455	\$0	\$2,455	\$2,455
2019	1	4.8%	\$2,455	\$0	\$2,455	\$2,455
2019	3	0.0%	\$2,455	\$0	\$2,455	\$2,455
2019	4	0.0%	\$2,455	\$0	\$2,455	\$2,455

2BR / 1BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$2,495	\$0	\$2,495	\$2,495
2019	1	0.0%	\$2,495	\$0	\$2,495	\$2,495
2019	3	0.0%	\$2,495	\$0	\$2,495	\$2,495
2019	4	0.0%	\$2,495	\$0	\$2,495	\$2,495

2BR / 2BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$2,650	\$0	\$2,650	\$2,650
2019	1	0.0%	\$2,500	\$0	\$2,500	\$2,500
2019	3	0.0%	\$2,695	\$0	\$2,695	\$2,695
2019	4	0.0%	\$2,695	\$0	\$2,695	\$2,695

3BR / 3BA

Year	QT	Vac.	Face Rent	Conc.	Concd. Rent	Adj. Rent
2018	4	N/A	\$3,275 - \$3,675	\$0	\$3,275 - \$3,675	\$3,275 - \$3,675
2019	1	0.0%	\$3,335 - \$3,675	\$0	\$3,335 - \$3,675	\$3,335 - \$3,675
2019	3	0.0%	\$3,375 - \$3,595	\$0	\$3,375 - \$3,595	\$3,375 - \$3,595
2019	4	0.0%	\$3,375 - \$3,675	\$0	\$3,375 - \$3,675	\$3,375 - \$3,675

Trend: Comments

4Q18	N/A
1Q19	N/A
3Q19	N/A
4Q19	The property utilizes daily pricing software. As such, rents change daily. The property does not accept Housing Choice Vouchers.

Photos



ADDENDUM D
Site and Floor Plans

MEADE VILLAGE RENOVATION								
Street Address	Unit No.	Unit Type	FLOOR NUMBER	Bedrooms	Baths	ACC	Net Sqft	Gross Sqft
BUILDING 1								
20 N. THOMAS ST.	1	8	1	2	1		680	758
20 N. THOMAS ST.	2	8	1	2	1		748	841
20 N. THOMAS ST.	3	8	2	2	1		680	758
20 N. THOMAS ST.	4	8	2	2	1		748	841
22 N. THOMAS ST.	1	8	1	2	1		748	841
22 N. THOMAS ST.	2	8	1	2	1		680	758
22 N. THOMAS ST.	3	8	2	2	1		748	841
22 N. THOMAS ST.	4	8	2	2	1		680	758
22 N. THOMAS ST.		18	BASEMENT			X	1,059	1,198
FLOOR 1 TOTAL							2,854	3,198
FLOOR 2 TOTAL							2,854	3,198
BASEMENT TOTAL							1,059	1,198
TOTAL SQFT.							6,771	7,594
BUILDING 2								
100 N. THOMAS ST.	1	8	1	2	1		680	758
100 N. THOMAS ST.	2	8	1	2	1		748	841
100 N. THOMAS ST.	3	8	2	2	1		680	758
100 N. THOMAS ST.	4	8	2	2	1		748	841
102 N. THOMAS ST.	1	7	1	2	1		558	630
102 N. THOMAS ST.	2	6	1	1	1		541	606
102 N. THOMAS ST.	3	7	2	1	1		558	630
102 N. THOMAS ST.	4	6	2	1	1		541	606
104 N. THOMAS ST.	1	8	1	2	1		710	790
104 N. THOMAS ST.	2	1	1	1	1		598	685
104 N. THOMAS ST.	3	2	1	1	1		639	721
104 N. THOMAS ST.	4	3	2	2	1		710	790
104 N. THOMAS ST.	5	1	2	1	1		598	685
104 N. THOMAS ST.	6	2	2	1	1		639	721
104 N. THOMAS ST.	7	3	3	2	1		710	790
104 N. THOMAS ST.	8	1	3	2	1		598	685
104 N. THOMAS ST.	9	2	3	1	1		639	721
102 N. THOMAS ST.		15	BASEMENT			X	547	623
104 N. THOMAS ST.		9	BASEMENT			X	1,283	1,445
FLOOR 1 TOTAL							4,406	4,948
FLOOR 2 TOTAL							4,406	4,948
FLOOR 3 TOTAL							1,947	2,198
BASEMENT TOTAL							1,830	2,048
TOTAL SQFT.							12,589	14,140

BUILDING 3										
106 N. THOMAS ST.	1	8	1	2	1		680	758		
106 N. THOMAS ST.	2	8	1	2	1		680	758		
106 N. THOMAS ST.	3	8	2	2	1		680	758		
106 N. THOMAS ST.	4	8	2	2	1		680	758		
108 N. THOMAS ST.	1	6	1	1	1		541	606		
108 N. THOMAS ST.	2	7	2	1	1		558	630		
108 N. THOMAS ST.	3	6	2	1	1		604	676		
108 N. THOMAS ST.	4	7	2	1	1		558	630		
110 N. THOMAS ST.	1	1	1	1	1		598	685		
110 N. THOMAS ST.	2	2	1	1	1		639	721		
110 N. THOMAS ST.	3	3	1	2	1		710	790		
110 N. THOMAS ST.	4	1	2	1	1		598	685		
110 N. THOMAS ST.	5	2	2	1	1		639	721		
110 N. THOMAS ST.	6	3	2	2	1		710	790		
110 N. THOMAS ST.	7	1	3	1	1		598	685		
110 N. THOMAS ST.	8	2	3	1	1		639	721		
110 N. THOMAS ST.	9	4	3	2	1		710	790		
110 N. THOMAS ST.			BASEMENT			X	597	685		
108 N. THOMAS ST.			BASEMENT			X	547	623		
106 N. THOMAS ST.			BASEMENT			X	1,360	1,537		
FLOOR 1 TOTAL							4,406	4,948		
FLOOR 2 TOTAL							4,406	4,948		
FLOOR 3 TOTAL							1,947	2,198		
BASEMENT TOTAL							1,830	2,048		
TOTAL SQFT.							13,263	14,937		
BUILDING 4										
200 N. THOMAS ST.	1	5	1	2	1		748	841		
200 N. THOMAS ST.	2	5	1	2	1		748	841		
200 N. THOMAS ST.	3	5	2	2	1		748	841		
200 N. THOMAS ST.	4	5	2	2	1		748	841		
202 N. THOMAS ST.	1	5	1	2	1		748	841		
202 N. THOMAS ST.	2	5	1	2	1		748	841		
202 N. THOMAS ST.	3	5	2	2	1		748	841		
202 N. THOMAS ST.	4	5	2	2	1		748	841		
204 N. THOMAS ST.	1	3	1	2	1		710	790		
204 N. THOMAS ST.	2	3	1	2	1		598	685		
204 N. THOMAS ST.	3	2	1	1	1		639	721		
204 N. THOMAS ST.	4	3	2	2	1		710	790		
204 N. THOMAS ST.	5	1	2	1	1		598	685		
204 N. THOMAS ST.	6	2	2	1	1		639	721		
204 N. THOMAS ST.	7	3	3	2	1		710	790		
204 N. THOMAS ST.	8	1	3	1	1		598	685		
204 N. THOMAS ST.	9	2	3	1	1		639	721		
202 N. THOMAS ST.			BASEMENT			X	936	1,053		
204 N. THOMAS ST.			BASEMENT			X	721	816		
204 N. THOMAS ST.			BASEMENT			X	1,272	1,438		
FLOOR 1 TOTAL							4,939	5,540		
FLOOR 2 TOTAL							4,939	5,540		
FLOOR 3 TOTAL							1,947	2,198		
BASEMENT TOTAL							2,929	3,307		
TOTAL SQFT.							14,754	16,423		

TOTALS	Bedroom Units	# OF UNITS	NSF	GSF	Bedrooms	Baths	ACC	NSF TOTAL	GSF TOTAL
UNIT TYPE 1	9	598	685	1	1		5,382	6,165	
UNIT TYPE 2	9	639	721	1	1		5,751	6,489	
UNIT TYPE 3	9	710	790	2	1		6,390	7,110	
UNIT TYPE 4 ACC	1	597	685	1	1	X	597	685	
UNIT TYPE 5	12	748	841	2	1		8,976	10,092	
UNIT TYPE 6	4	541	606	1	1		2,164	2,424	
UNIT TYPE 7	4	558	630	1	1		2,232	2,520	
UNIT TYPE 8	12	680	758	2	1		8,160	9,096	
UNIT TYPE 9 ACC	1	1,283	1,445	3	2	X	1,283	1,445	
UNIT TYPE 10 ACC	1	1,272	1,438	3	2	X	1,272	1,438	
UNIT TYPE 11 ACC	1	936	1,053	2	1	X	936	1,053	
UNIT TYPE 12 ACC	1	721	816	2	1	X	721	816	
UNIT TYPE 13 ACC	1	845	954	2	1	X	845	954	
UNIT TYPE 14 ACC	1	1,360	1,537	3	2	X	1,360	1,537	
UNIT TYPE 15 ACC	2	547	623	1	1	X	1,094	1,246	
TOTAL UNITS	68						47,163	53,070	

GENERAL SYMBOLS LEGEND	ABBREVIATIONS
	ALUMINUM
	STEEL
	WOOD-ROUGH (CONTINUOUS)
	WOOD-ROUGH (NON-CONTINUOUS)
	PLYWOOD
	WOOD FINISH
	EARTH
	G.M.U. (SOLID)
	G.M.U.
	BRICK MASONRY
	WALL PARTITION
	SEALANT
	BATT INSULATION
	RIGID INSULATION
	GYPSUM BOARD
	ACOUSTICAL TILE
	CONCRETE
	GRANULAR FILL
	EXISTING WALL & DOOR TO REMAIN
	NEW WALL & DOOR
	EXISTING CONSTRUCTION TO BE REMOVED
	ELEVATION
	KEYED NOTE
	DOOR NUMBER
	WINDOW TYPE
	TOILET/KITCHEN ACCESSORIES
	DETAIL CALLOUT
	LEVEL LINE
	PARTITION TYPE DESIGNATION
	REVISION SEQUENCE TAG
	AREA OF REVISION
	ROOM NAME
	ROOM NUMBER
	INDICATES DIRECTION OF ELEVATION / SECTION
	DETAIL NUMBER
	SIMILAR/OPPPOSITE OF INDICATED DETAIL
	SHEET WHERE DRAWN
	DETAIL NUMBER
	SIMILAR/OPPPOSITE OF INDICATED DETAIL
	SHEET WHERE DRAWN
	INDICATES REFERENCE OF INTERIOR ELEVATION
	DETAIL NUMBER
	SHEET WHERE DRAWN
	NATURAL GAS
	GALLON
	GALVANIZED
	GRAB BAR
	GENERAL CONTRACTOR
	GARBAGE DISPOSAL
	GROUND FAULT CIRCUIT INTERRUPTER
	GLASS
	GAS METER
	GROUND
	GROSS SQUARE FOOTAGE
	GYPSUM BOARD
	HIGH
	HOSE BIBB
	HIGH DENSITY
	HEADER
	HOLLOW METAL
	HORIZONTAL
	HOUR
	HEIGHT
	HEATING VENTILATION & AIR CONDITIONING
	MODIFIED EQUIPMENT
	NEW CONSTRUCTION OR EQUIPMENT
	EXISTING CONSTRUCTION OR EQUIPMENT
	SURPLUS EQUIPMENT
	RELOCATED EQUIPMENT
	AT
	CENTERLINE
	DIAMETER OR ROUND
	A.A.M.P.
	ANCHOR BOLT
	ABOVE
	AIR CONDITIONING
	A.C.B.M.
	ACCESSIBLE
	ACOUSTIC CEILING PANEL
	AMERICANS WITH DISABILITIES ACT
	ADA ACCESSIBILITY GUIDELINES
	ADJUSTABLE
	ABOVE FINISH FLOOR
	ABOVE FINISH GRADE
	ALUMINUM ALTERNATIVE
	APPROXIMATE
	ARCHITECTURAL
	ATTACHED
	AUTOMATIC
	B.D.
	BUILDING
	BLOCKING
	BEAM
	BOTTOM
	BEARING
	BASEMENT
	BETWEEN
	BUILT-UP
	CABINET
	CEMENT
	CHALKBOARD
	CAST IN PLACE
	CONTROL JOINT
	CEILING
	CAULKING
	CLOSET
	CLEAR
	CONCRETE MASONRY UNIT
	COLUMN
	CONTINUOUS AIR
	CONTINUOUS CORRIDOR
	CERAMIC TILE
	DEEP
	DEPARTMENT
	DETAIL
	DRINKING FOUNTAIN
	DIAMETER
	DOWN
	DOOR
	DOWNSPOUT
	DRYER
	DRAWING
	EACH
	EXPANSION BOLT
	EXHAUST FAN
	EXTERIOR INSULATION FINISH SYSTEM
	EXTERIOR JOINT
	ELEVATION
	ELECTRIC
	ELEVATOR
	ELECTRIC METER
	ENCLOSURE
	ENGINEER
	ESTIMATE

GENERAL NOTES: FLOOR PLANS

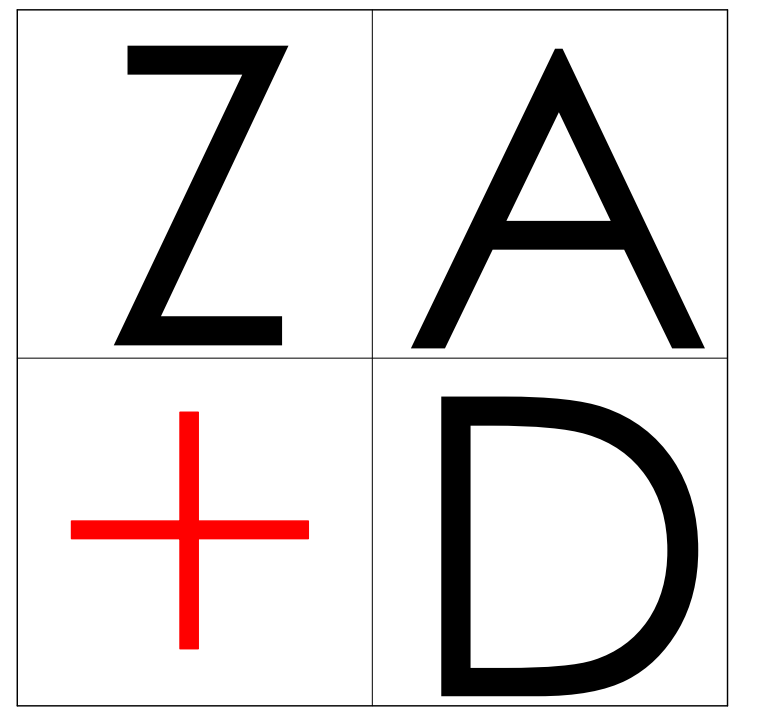
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

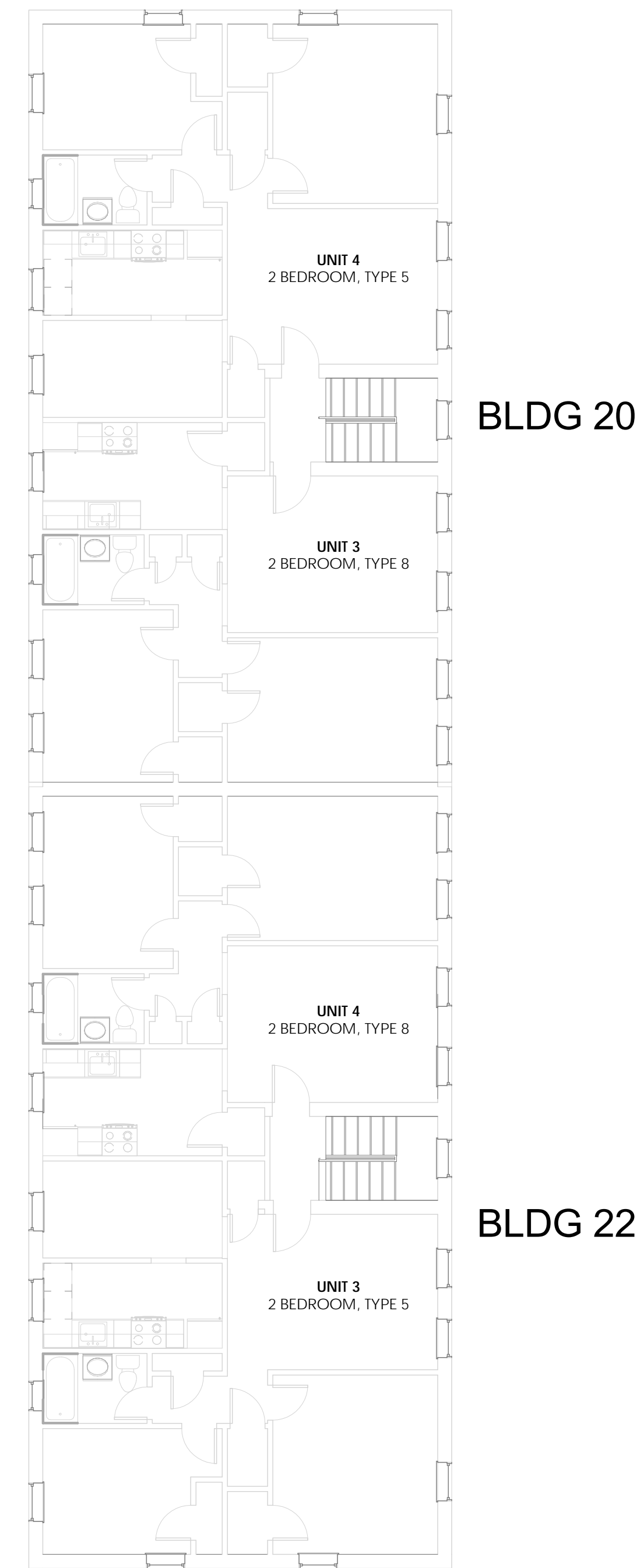
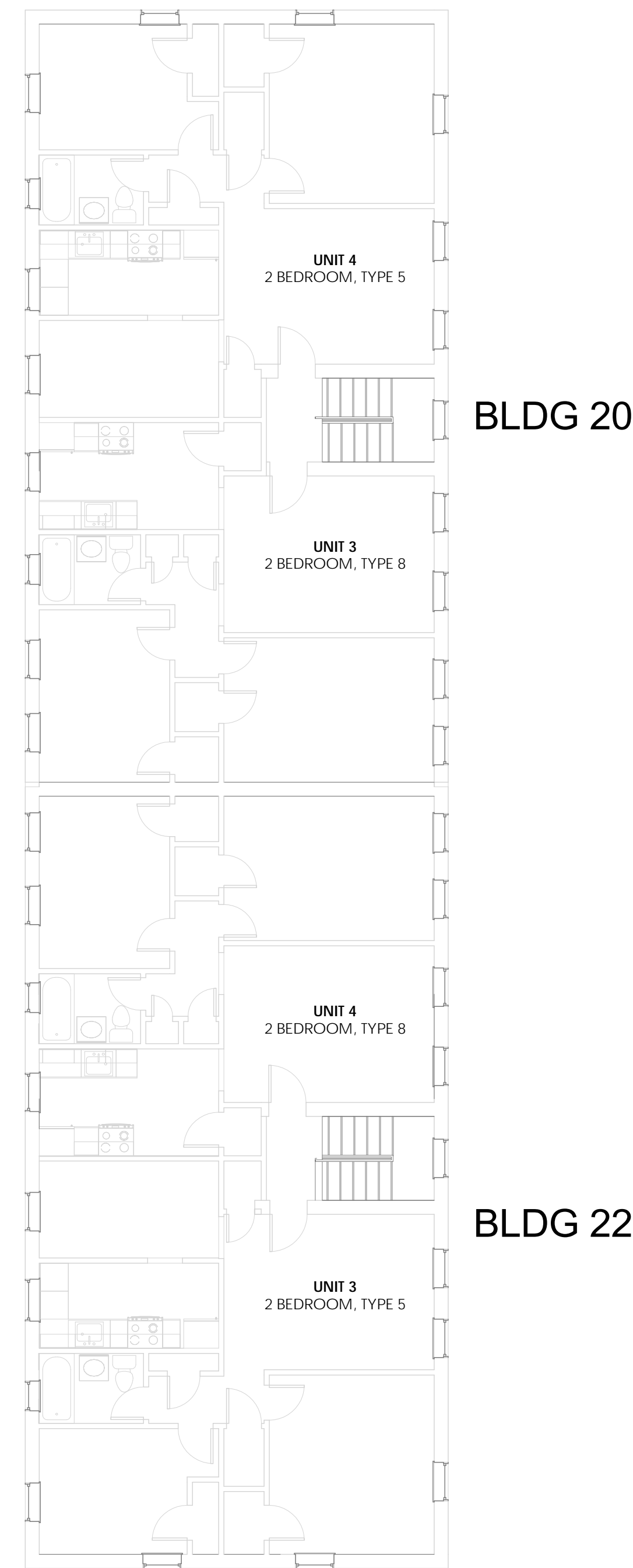
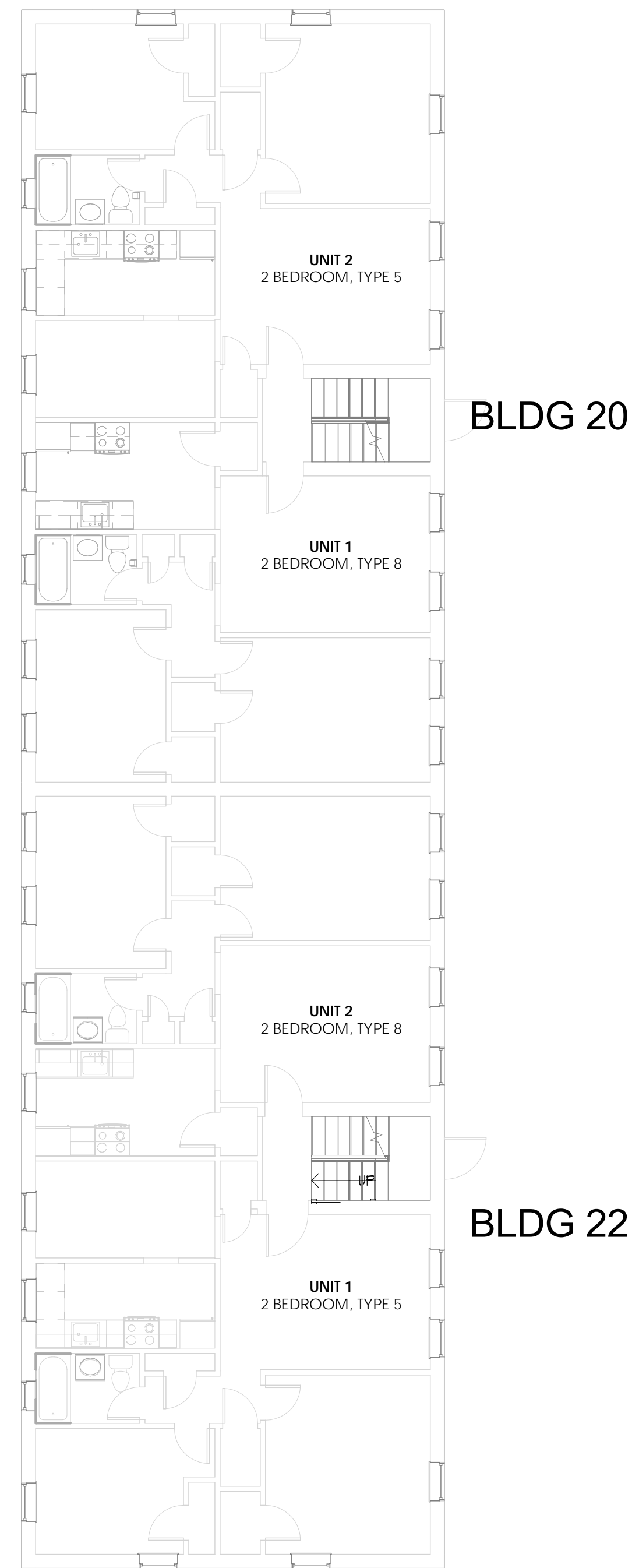
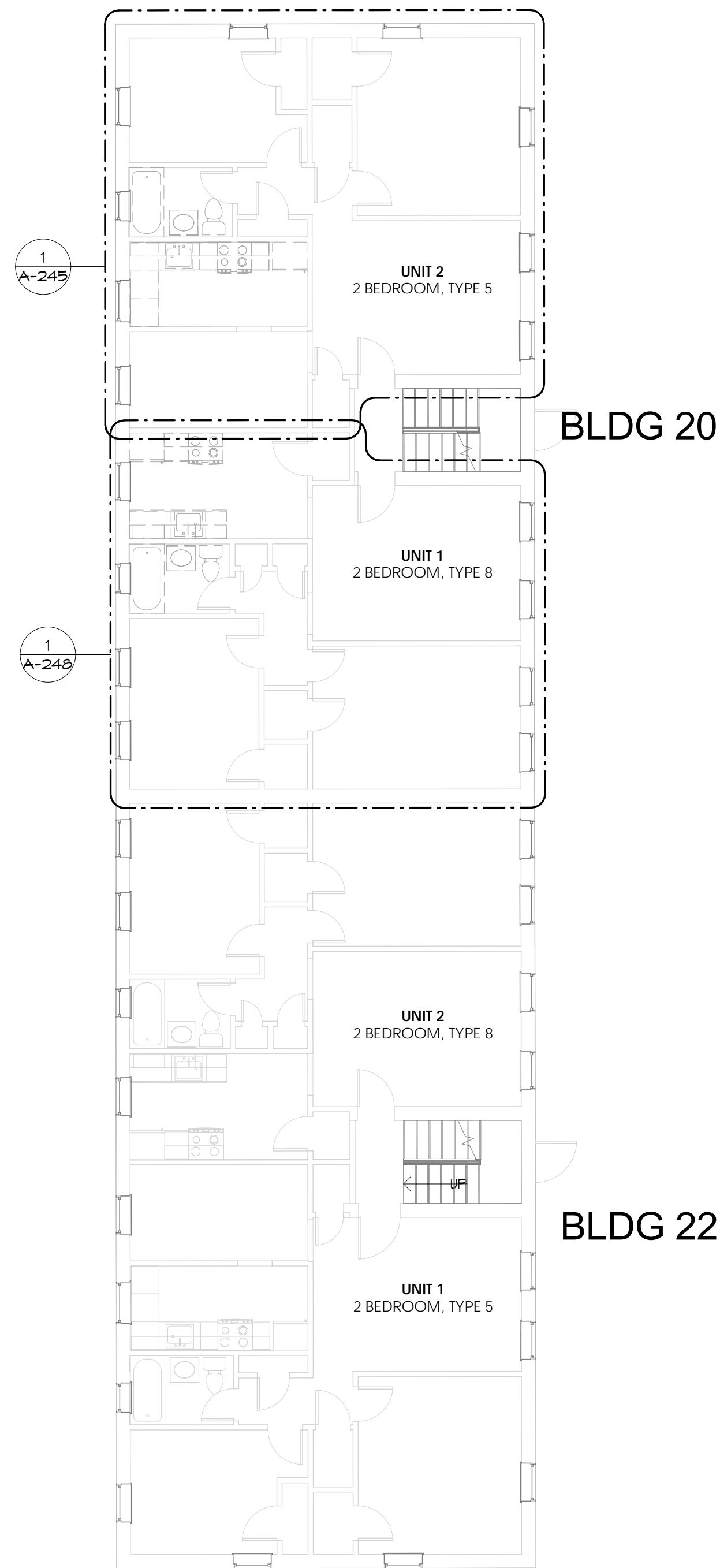
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 01500 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



2 1ST FLR. BLDG I (20/22 - N. THOMAS ST.) DEMOLITION (A-200) SCALE: 1/8" = 1'-0"

1 1ST FLR. BLDG I (20/22 - N. THOMAS ST.) NEW WORK (A-200) SCALE: 1/8" = 1'-0"

4 2ND FLR. BLDG I (20/22 - N. THOMAS ST.) DEMOLITION (A-200) SCALE: 1/8" = 1'-0"

3 2ND FLR. BLDG I (20/22 - N. THOMAS ST.) NEW WORK (A-200) SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING I

JOB NUMBER: 18204
 DRAWING NUMBER:

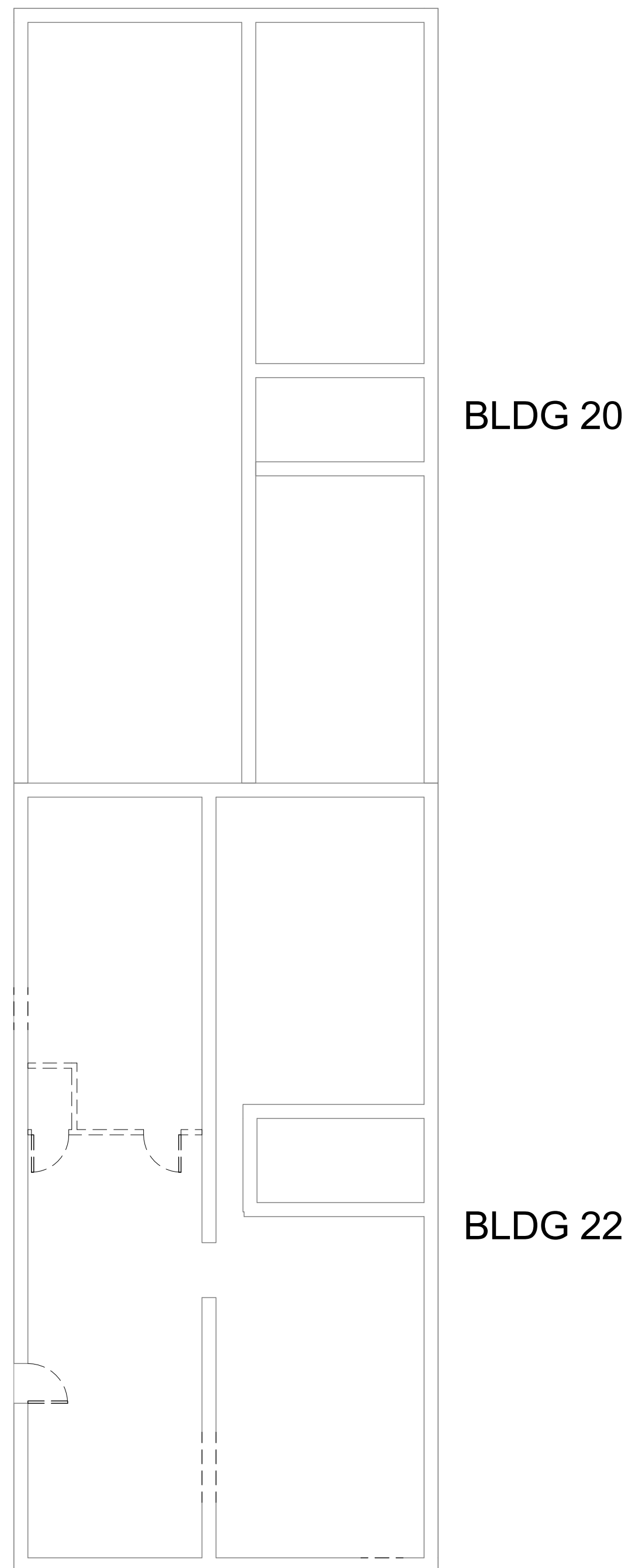
A-200

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF *(INSERT OWNER NAME)*. ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF *(INSERT OWNER NAME)*. THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

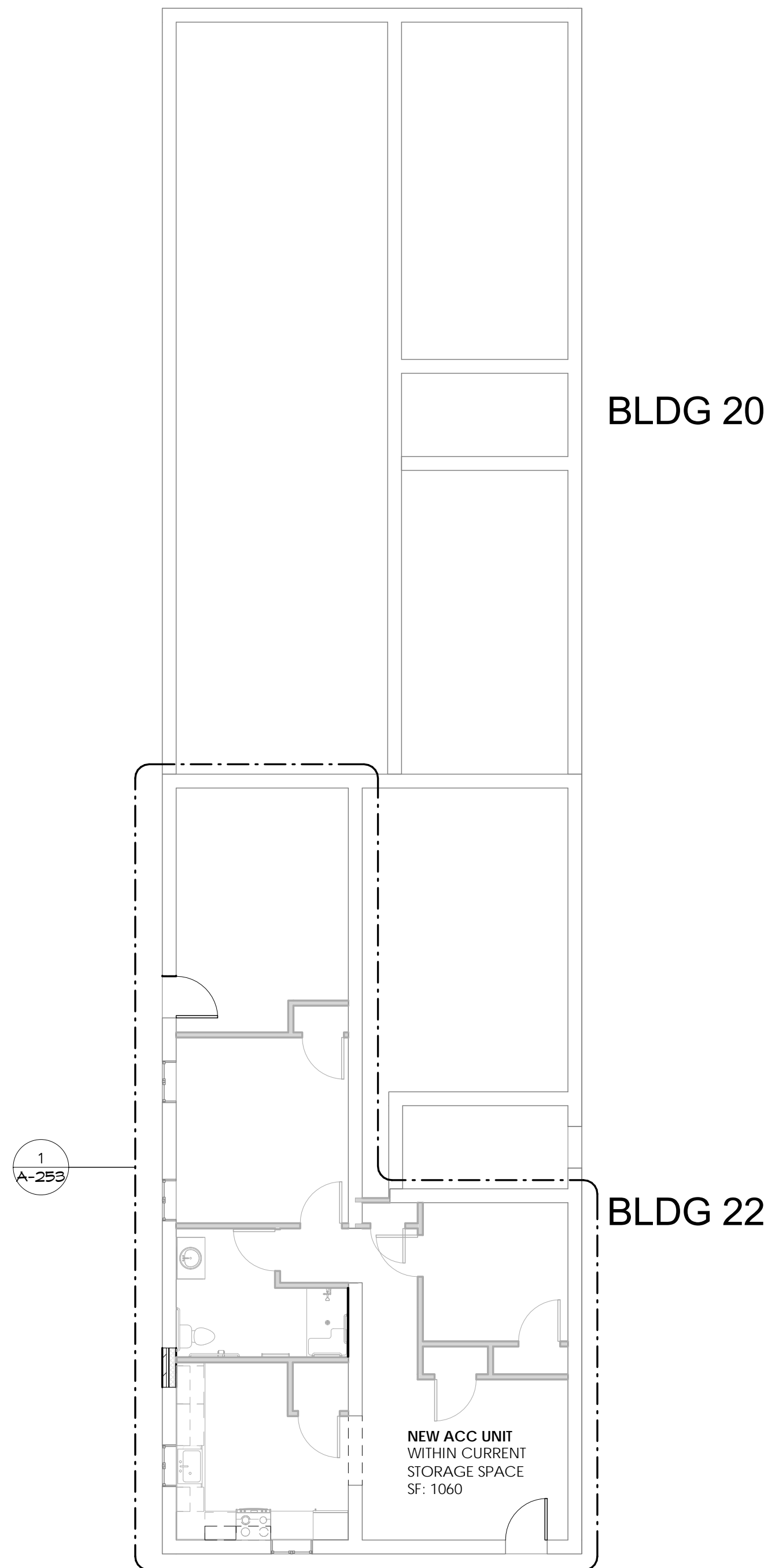


2 BASEMENT BUILDING I (20/22 - N. THOMAS ST.) DEMOLITION
A-201 SCALE: 1/8" = 1'-0"

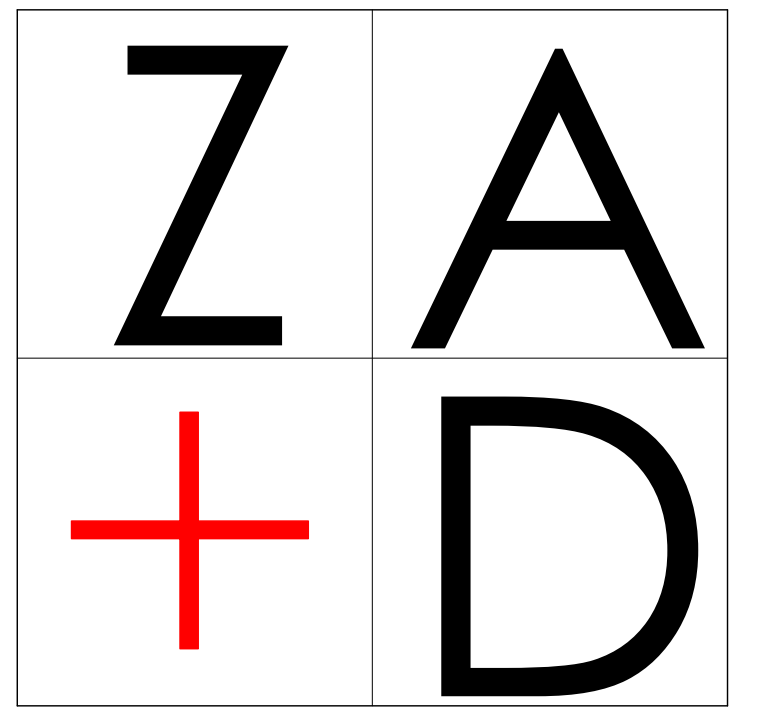
GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



1 BASEMENT BUILDING I (20/22 - N. THOMAS ST.) NEW WORK
A-201 SCALE: 1/8" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.
QUALITY CONTROL REVIEW
SD REVIEWER INITIALS _____ DATE: _____
DD REVIEWER INITIALS _____ DATE: _____
CD REVIEWER INITIALS _____ DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING I BASEMENT

JOB NUMBER: 18204
DRAWING NUMBER:

A-201

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

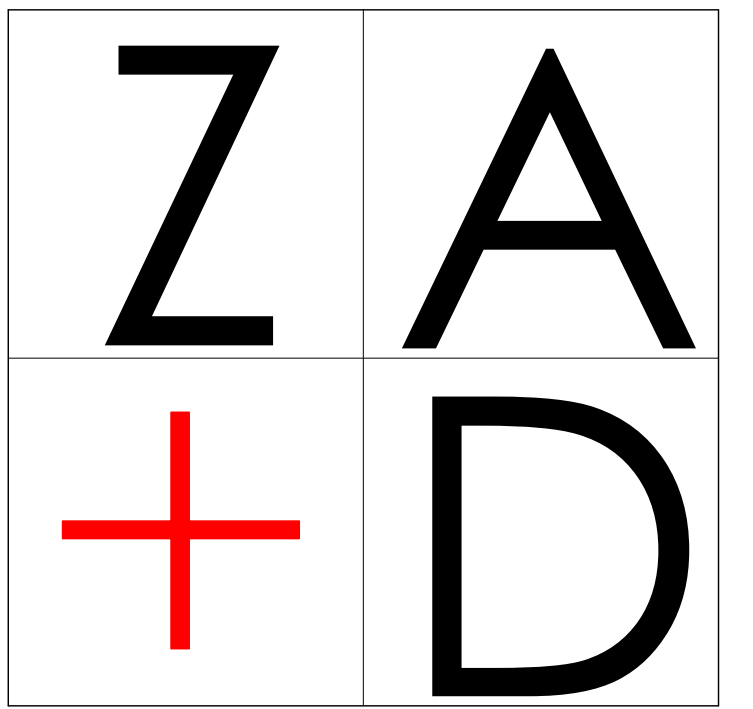
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.
- 6.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR PPOSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
9. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

GENERAL NOTES: DEMOLITION



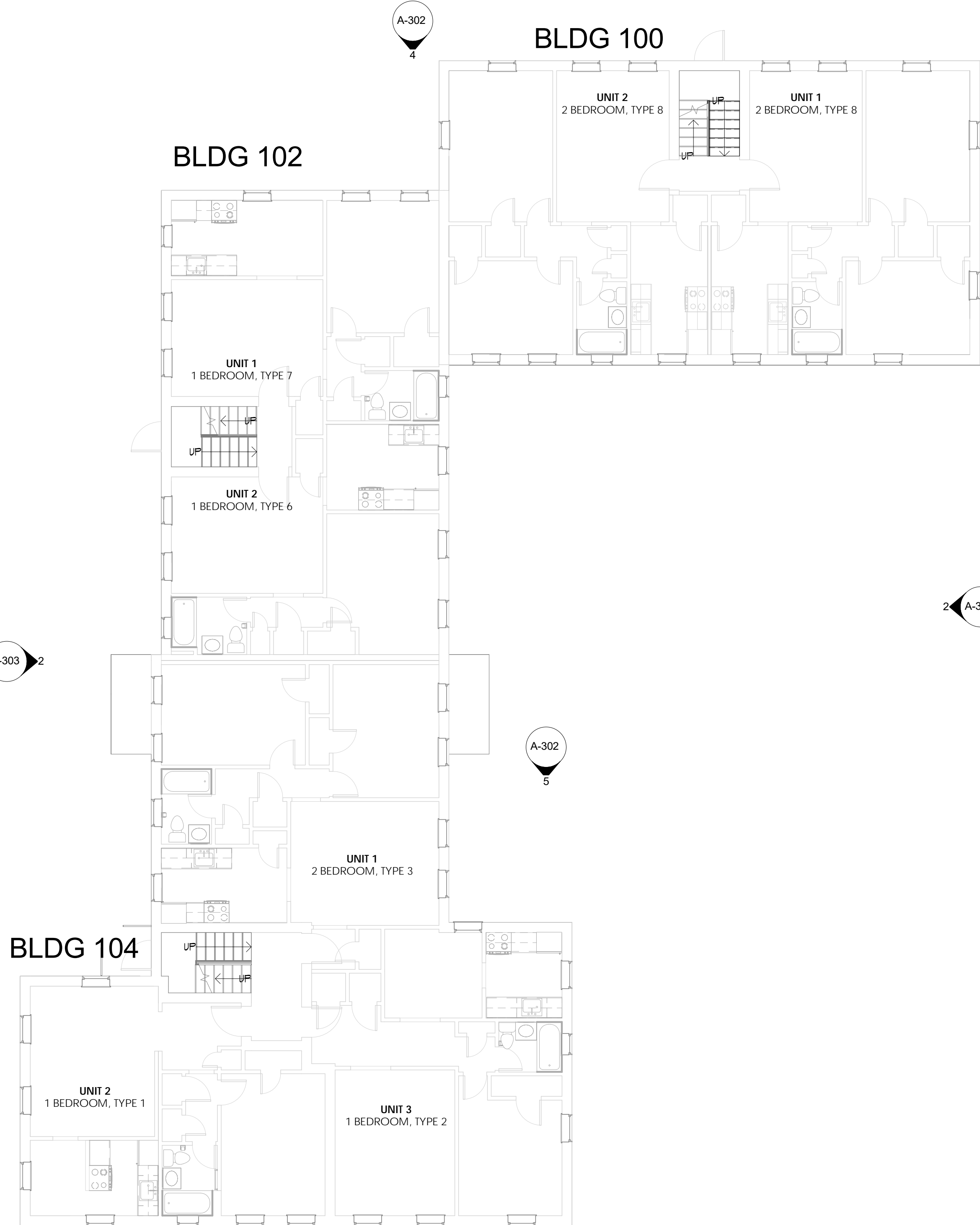
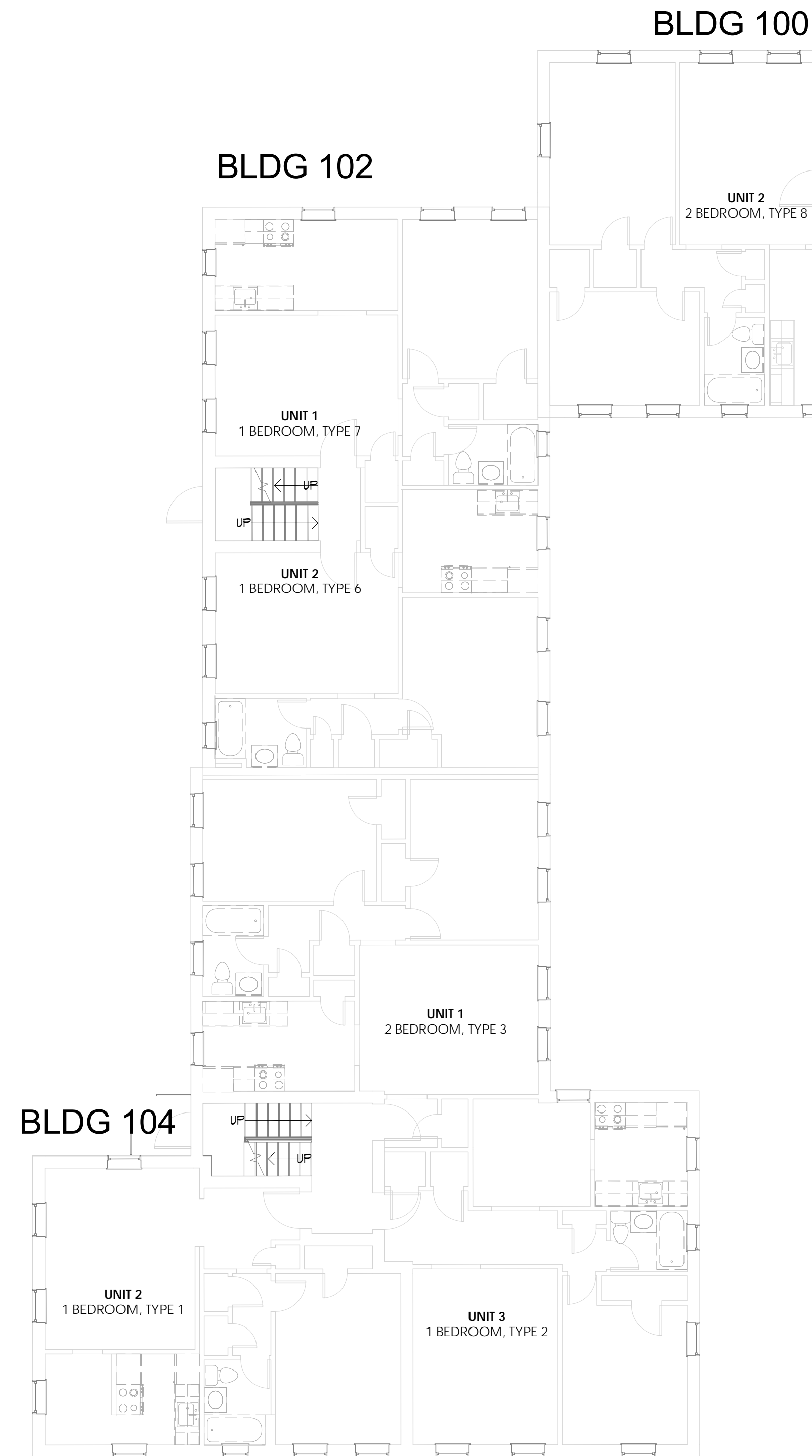
ZA+D design

ZA+D interiors

ZA+D passiv

Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW		
SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING II

JOB NUMBER: 18204
DRAWING NUMBER:

A-202

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

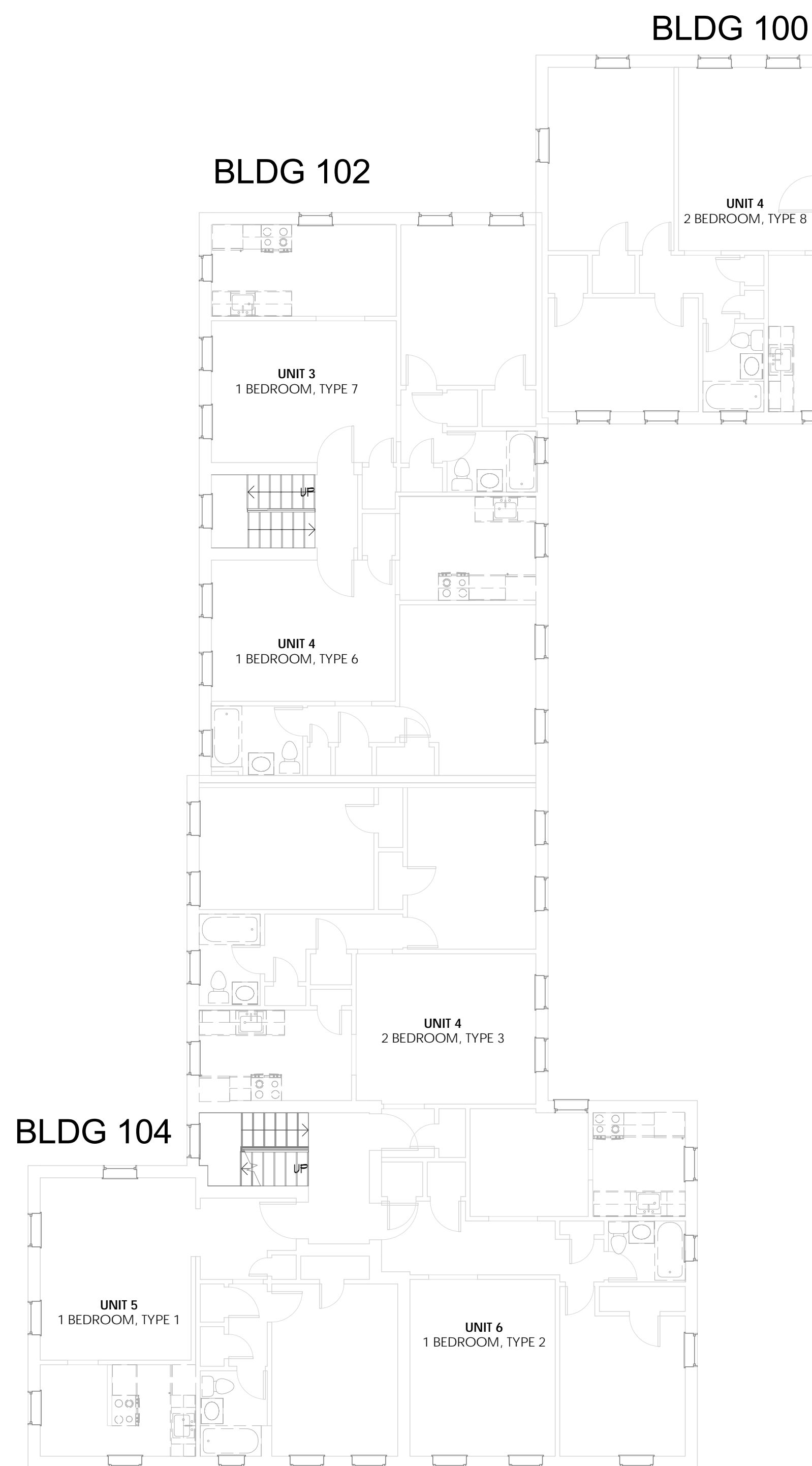
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

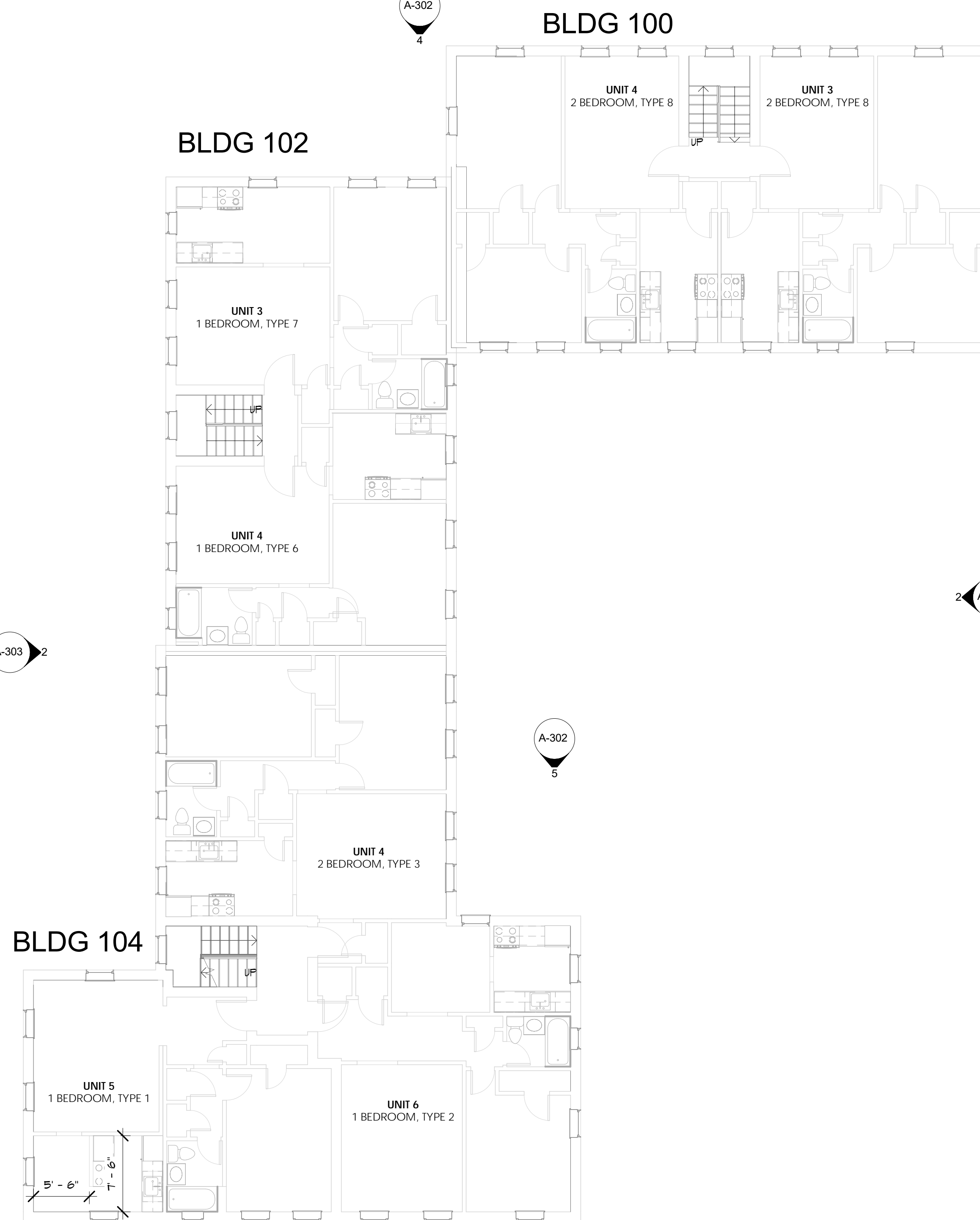
GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

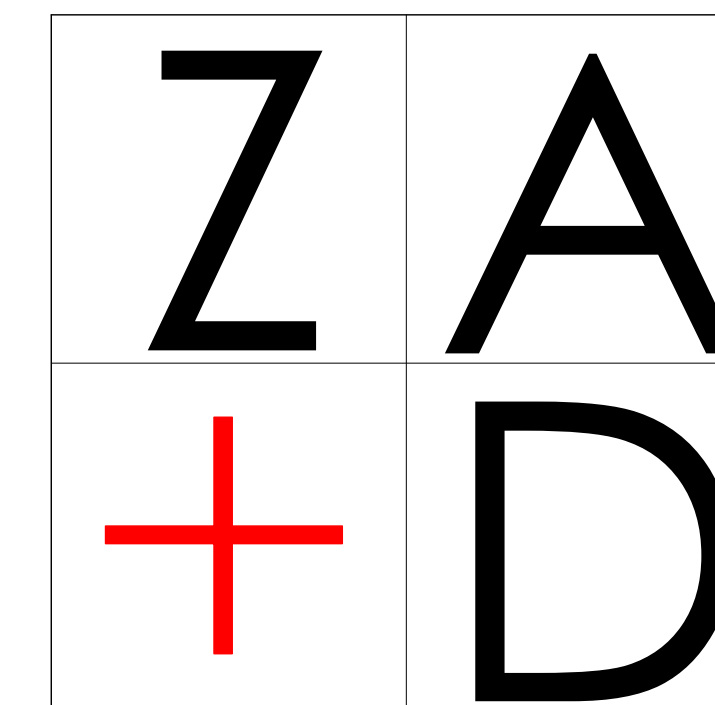
GENERAL NOTES: DEMOLITION



2 2ND FLR. BUILDING II (100/102/104 - N. THOMAS ST.) DEMOLITION
A-203 SCALE: 1/8" = 1'-0"



1 2ND FLR. BUILDING II (100/102/104 - N. THOMAS ST.) NEW WORK
A-203 SCALE: 1/8" = 1'-0"



ZA+D design

ZA+D interiors

ZA+D passiv

Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW		
SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING II

JOB NUMBER: 18204

DRAWING NUMBER:

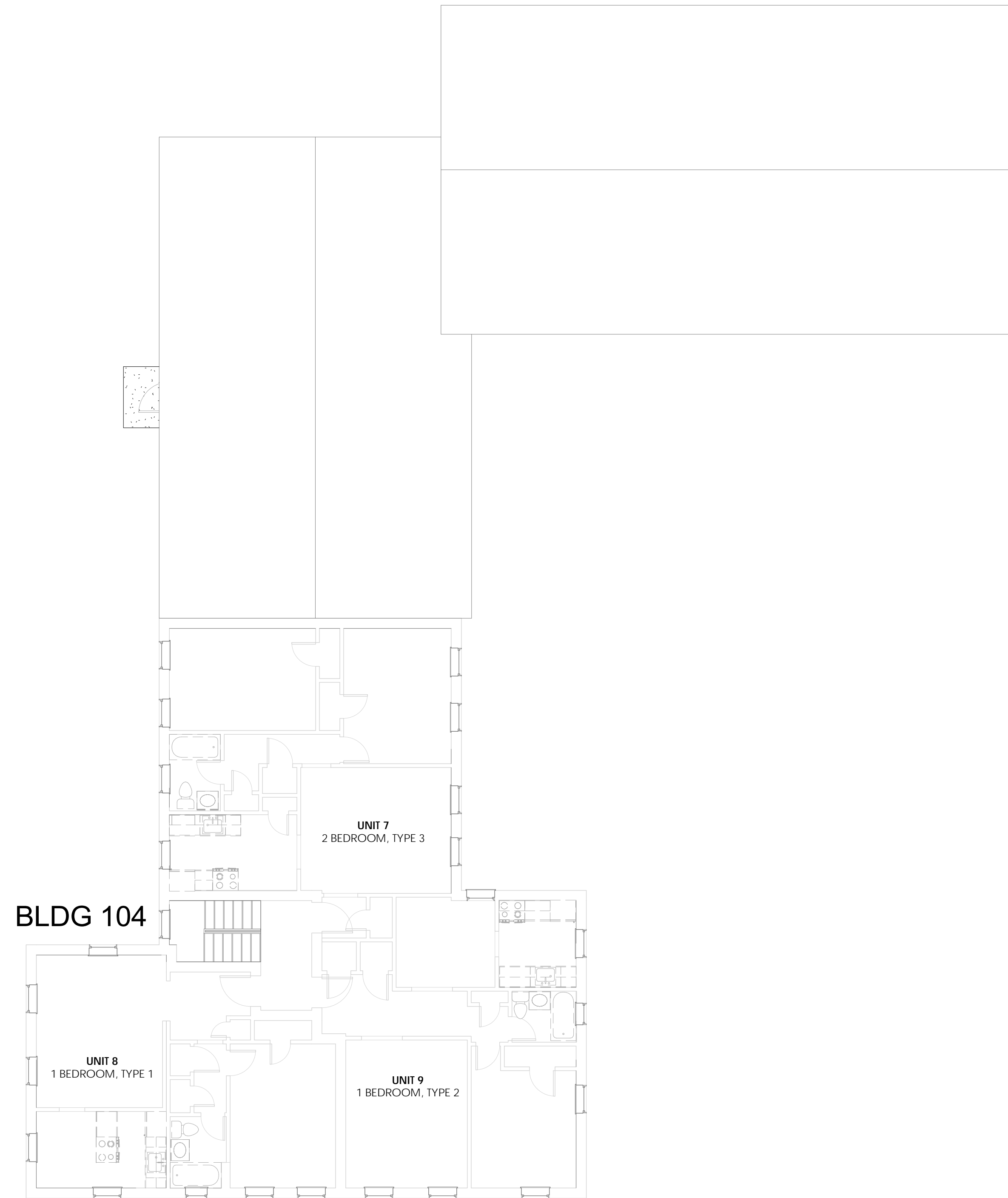
A-203

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF *(INSERT OWNER NAME)*. ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF *(INSERT OWNER NAME)*. THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS



2 A-204 3RD/ROOF BUILDING II (100/102/104 - N. THOMAS ST.) DEMOLITION
SCALE: 1/8" = 1'-0"

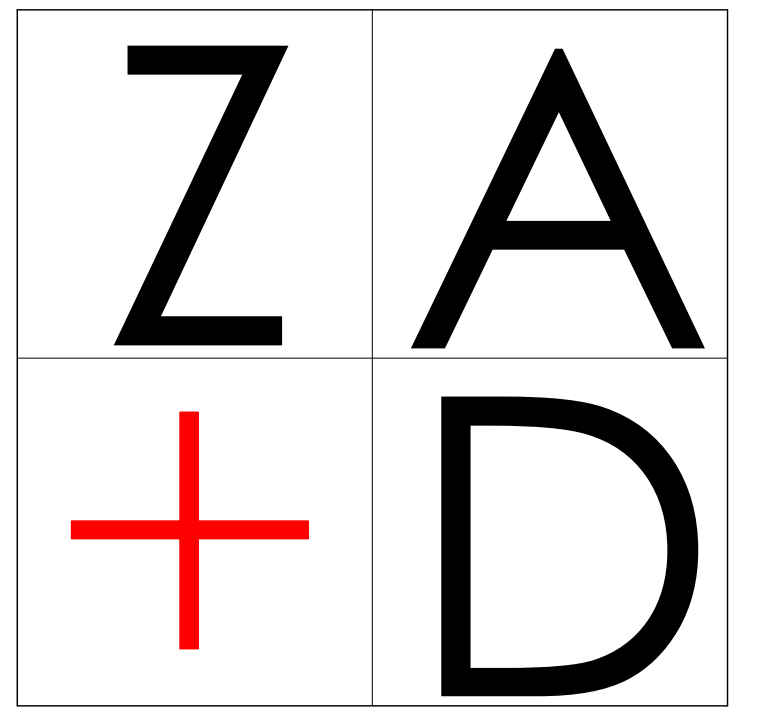
GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



1 A-204 3RD/ROOF BUILDING II (100/102/104 - N. THOMAS ST.) NEW WORK
SCALE: 1/8" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING II

JOB NUMBER: 18204
DRAWING NUMBER:

A-204

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

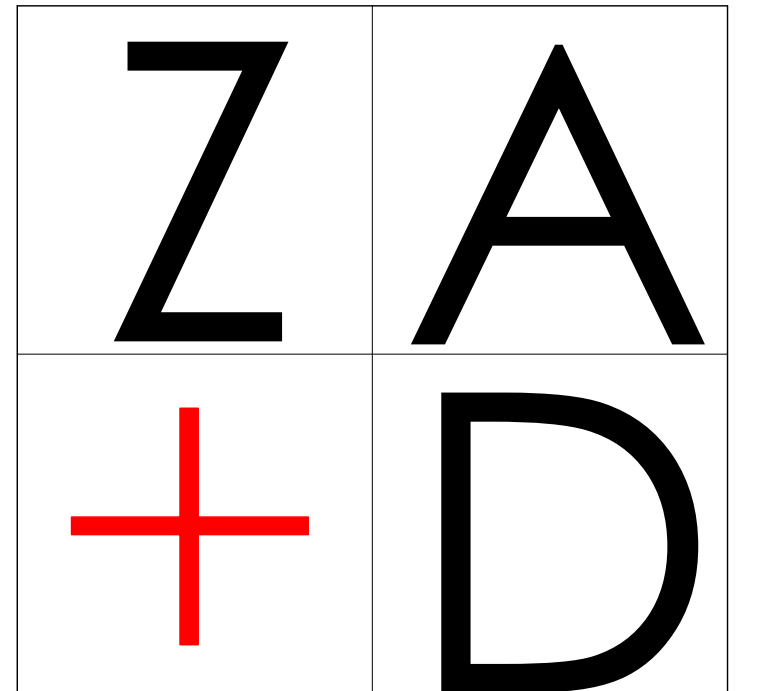
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXIST OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

○ GENERAL NOTES: FLOOR PLANS

○ GENERAL NOTES: DEMOLITION



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE

WHITEFIELD COMMONS

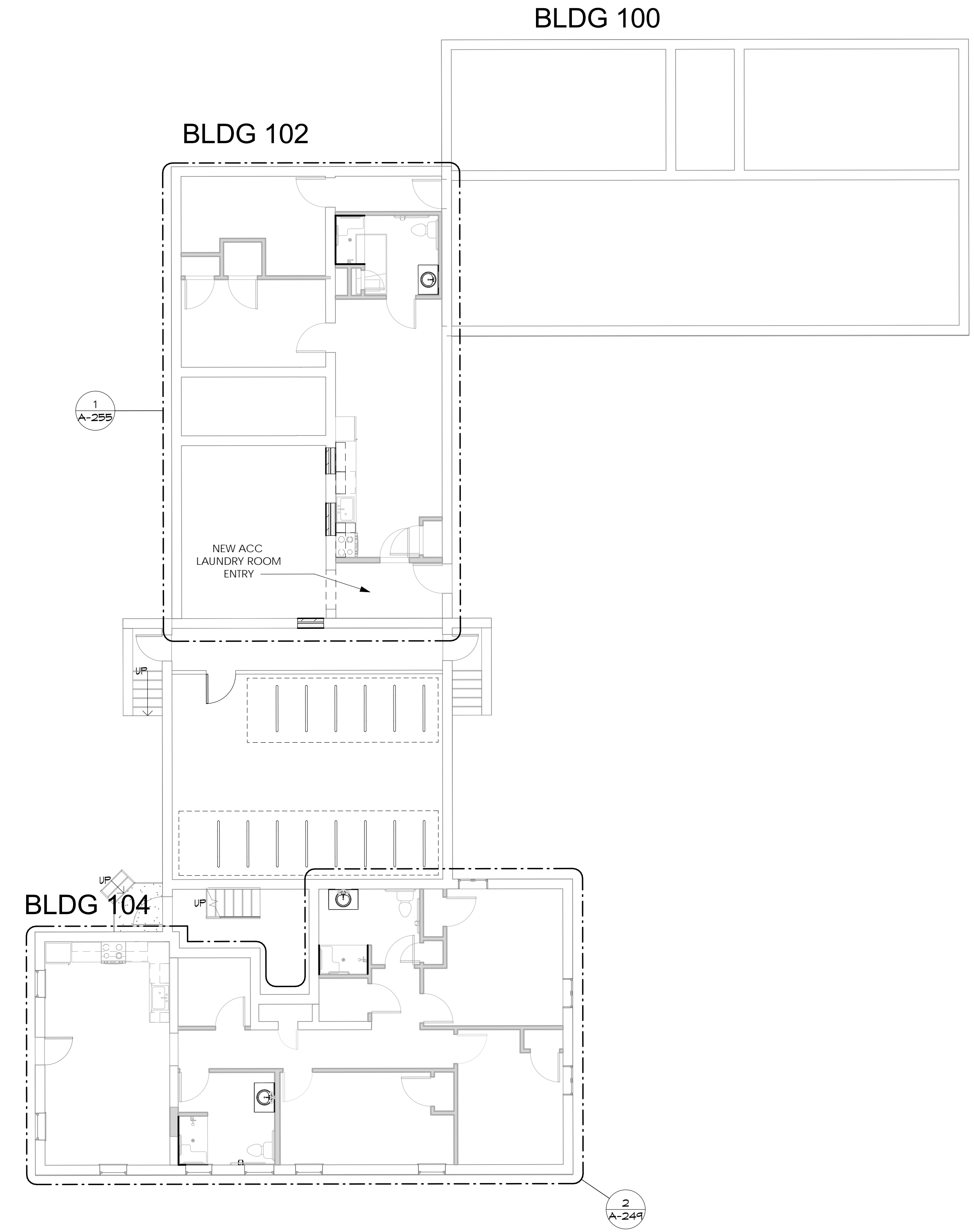
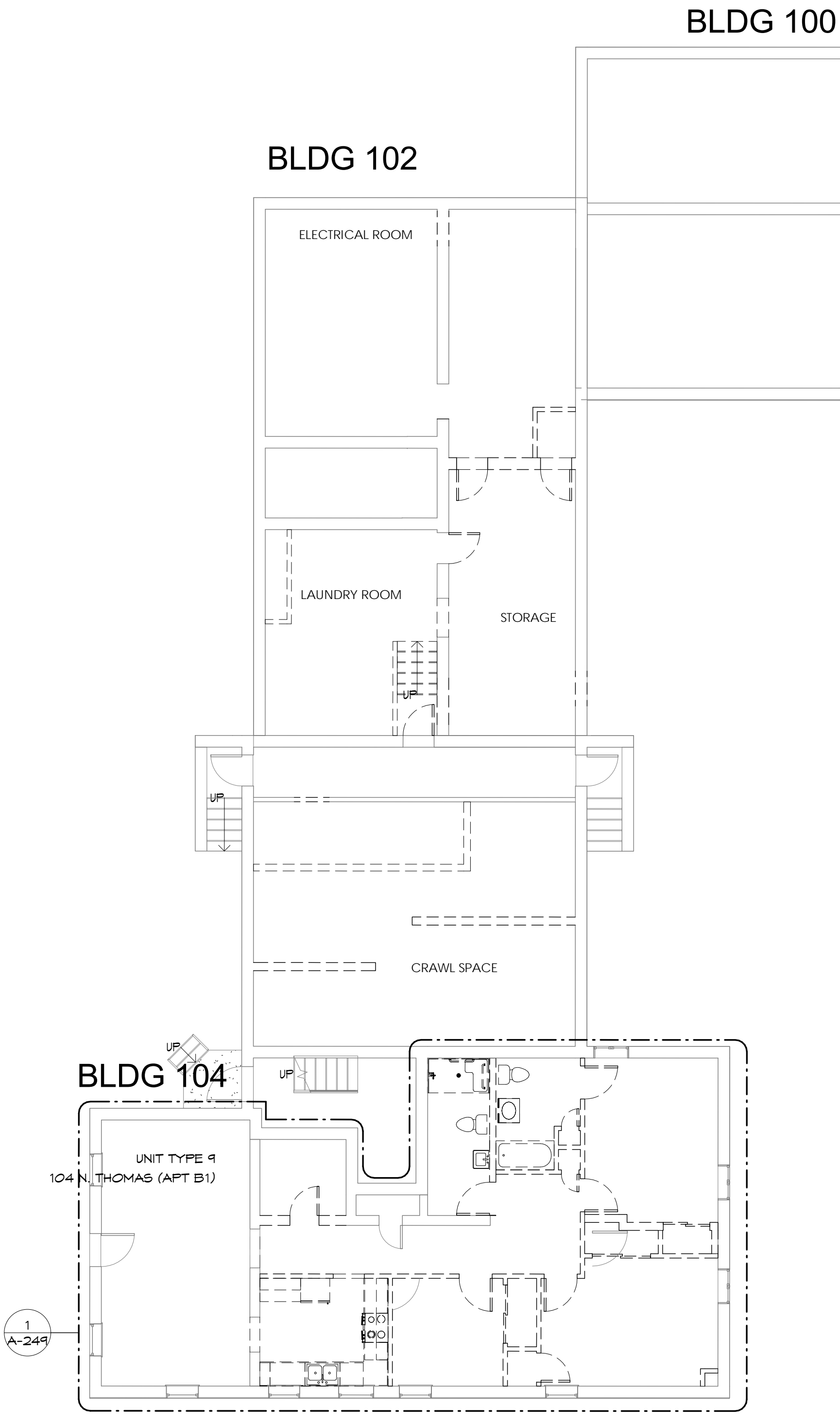
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING II BASEMENT

JOB NUMBER: 18204
 DRAWING NUMBER:

A-205

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



2 BASEMENT BUILDING II (100/102/104 - N. THOMAS ST.) DEMOLITION
 A-205 SCALE: 1/8" = 1'-0"

1 BASEMENT BUILDING II (100/102/104 - N. THOMAS ST.) NEW WORK
 A-205 SCALE: 1/8" = 1'-0"

GENERAL NOTES: FLOOR PLANS

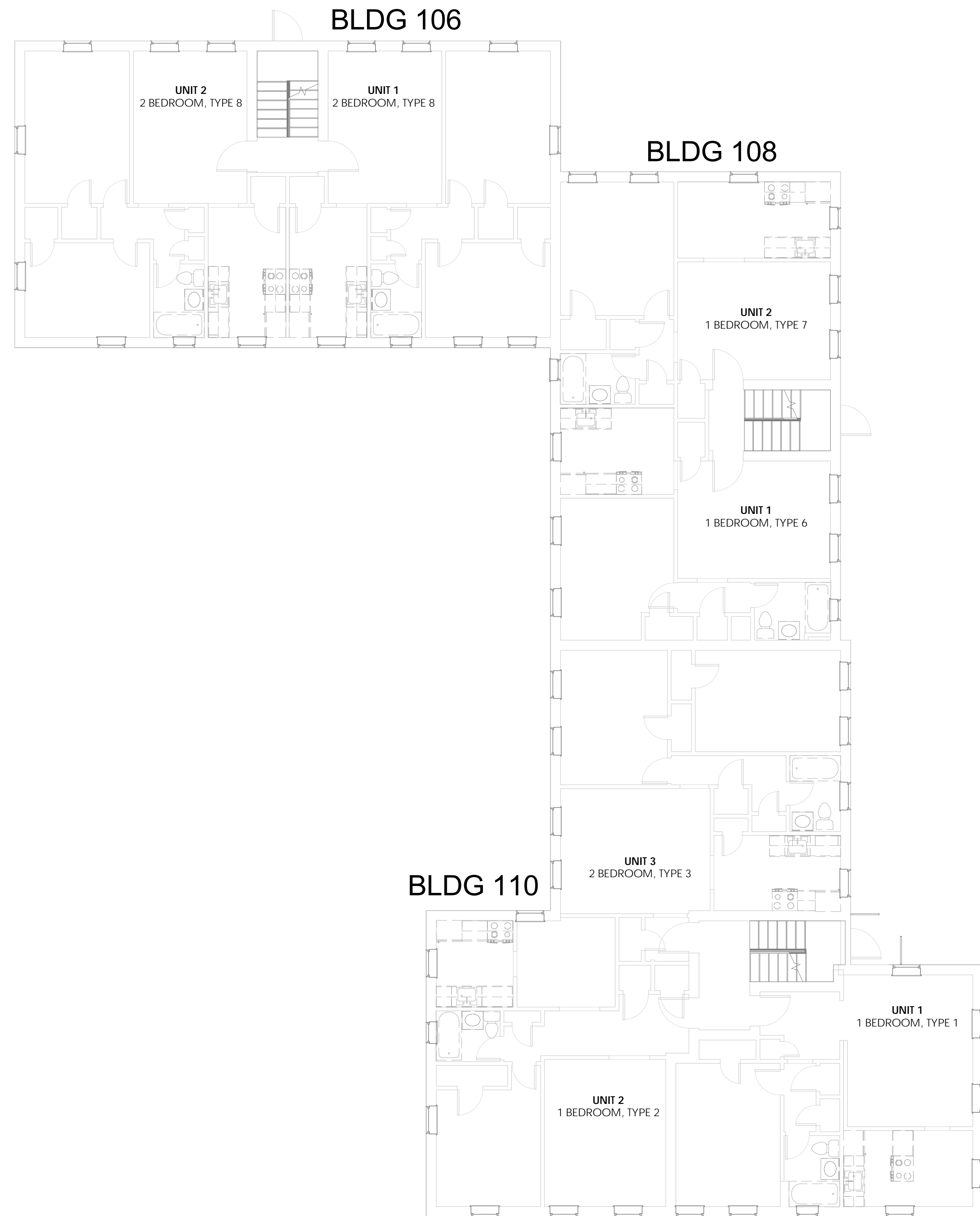
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: DEMOLITION

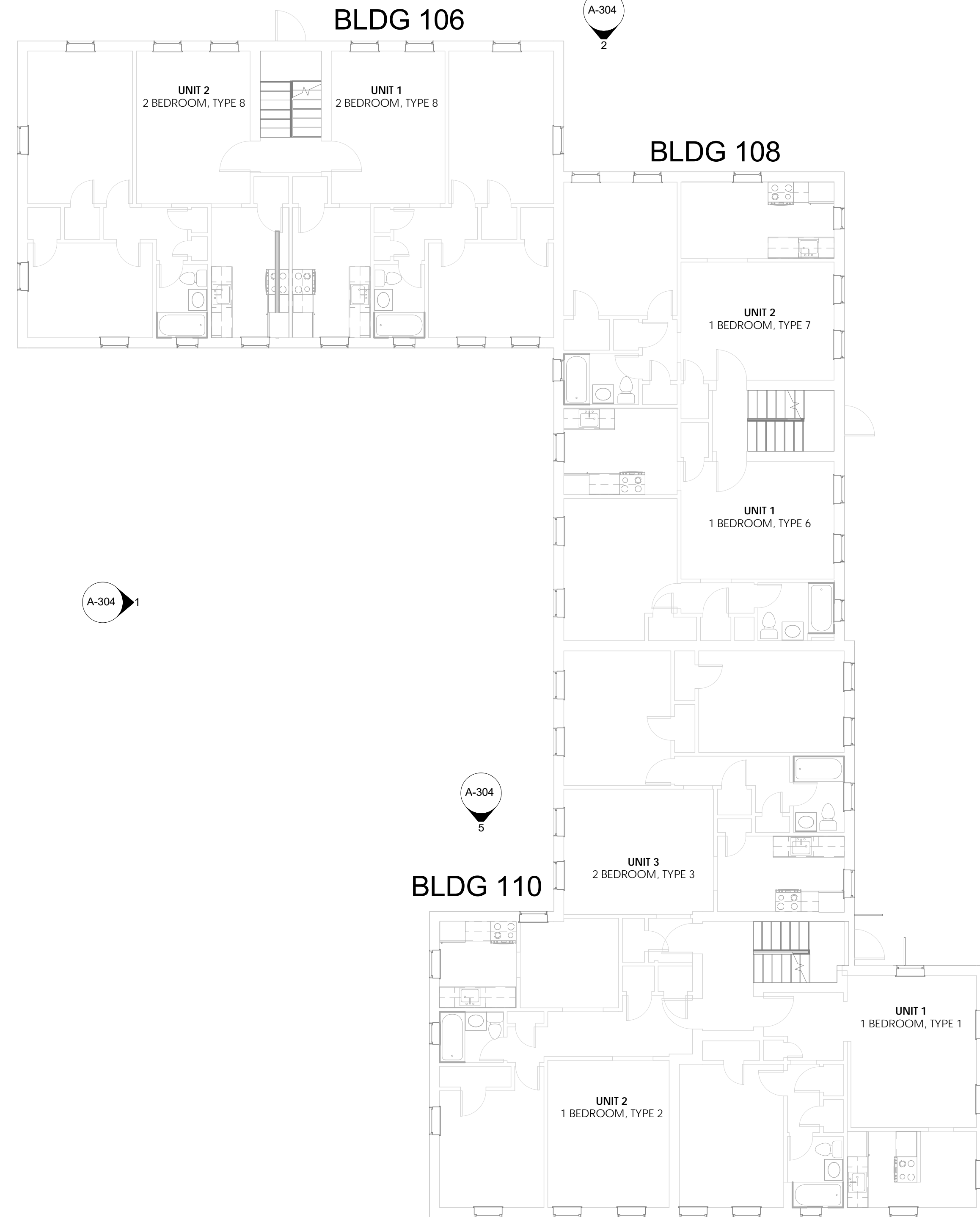
1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
10. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: FLOOR PLANS

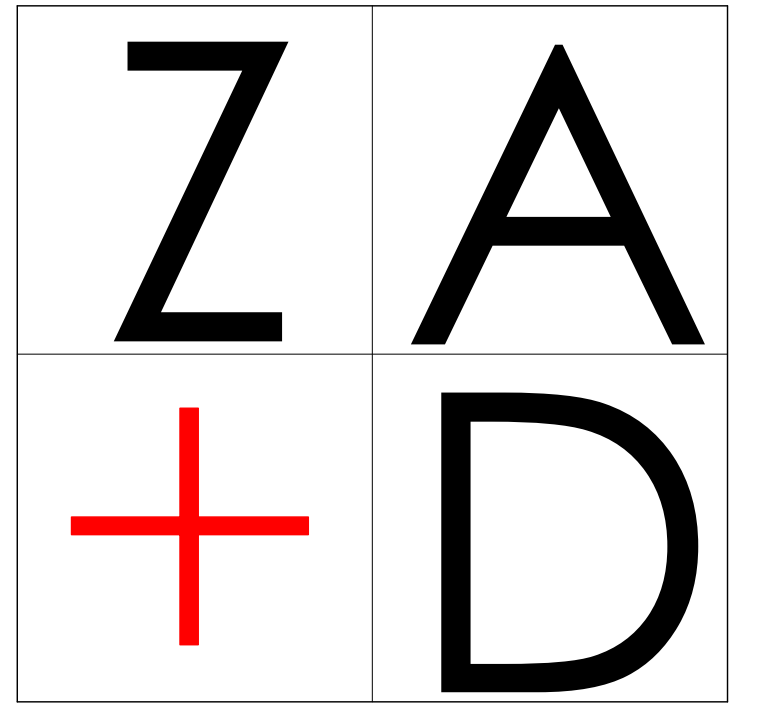
GENERAL NOTES: DEMOLITION



2 1ST FLR. BUILDING III (106/108/110 - N. THOMAS ST.) DEMOLITION
A-206 SCALE: 1/8" = 1'-0"



1 1ST FLR. BUILDING III (106/108/110 - N. THOMAS ST.) NEW WORK
A-206 SCALE: 1/8" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW		
SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

WHITEFIELD COMMONS

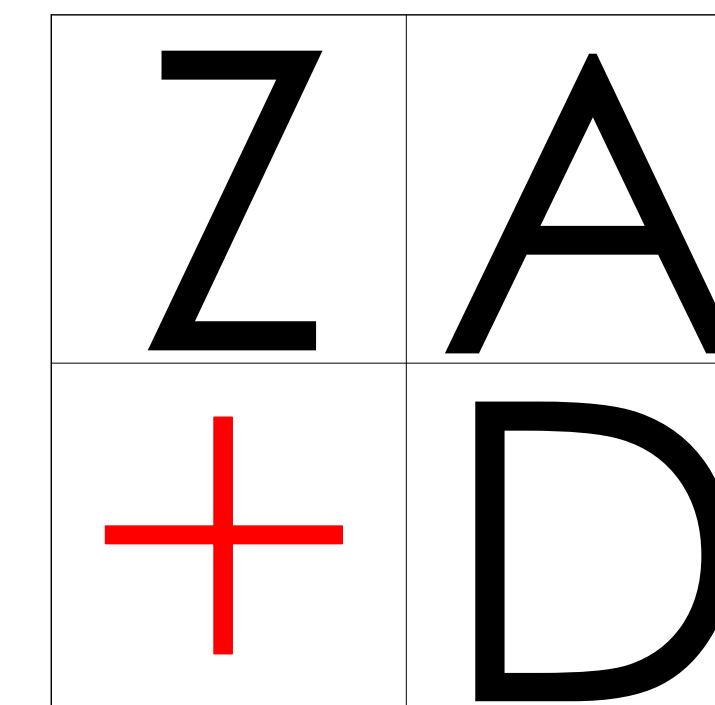
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING III

JOB NUMBER: 18204
 DRAWING NUMBER:

A-206

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

GENERAL NOTES: FLOOR PLANS

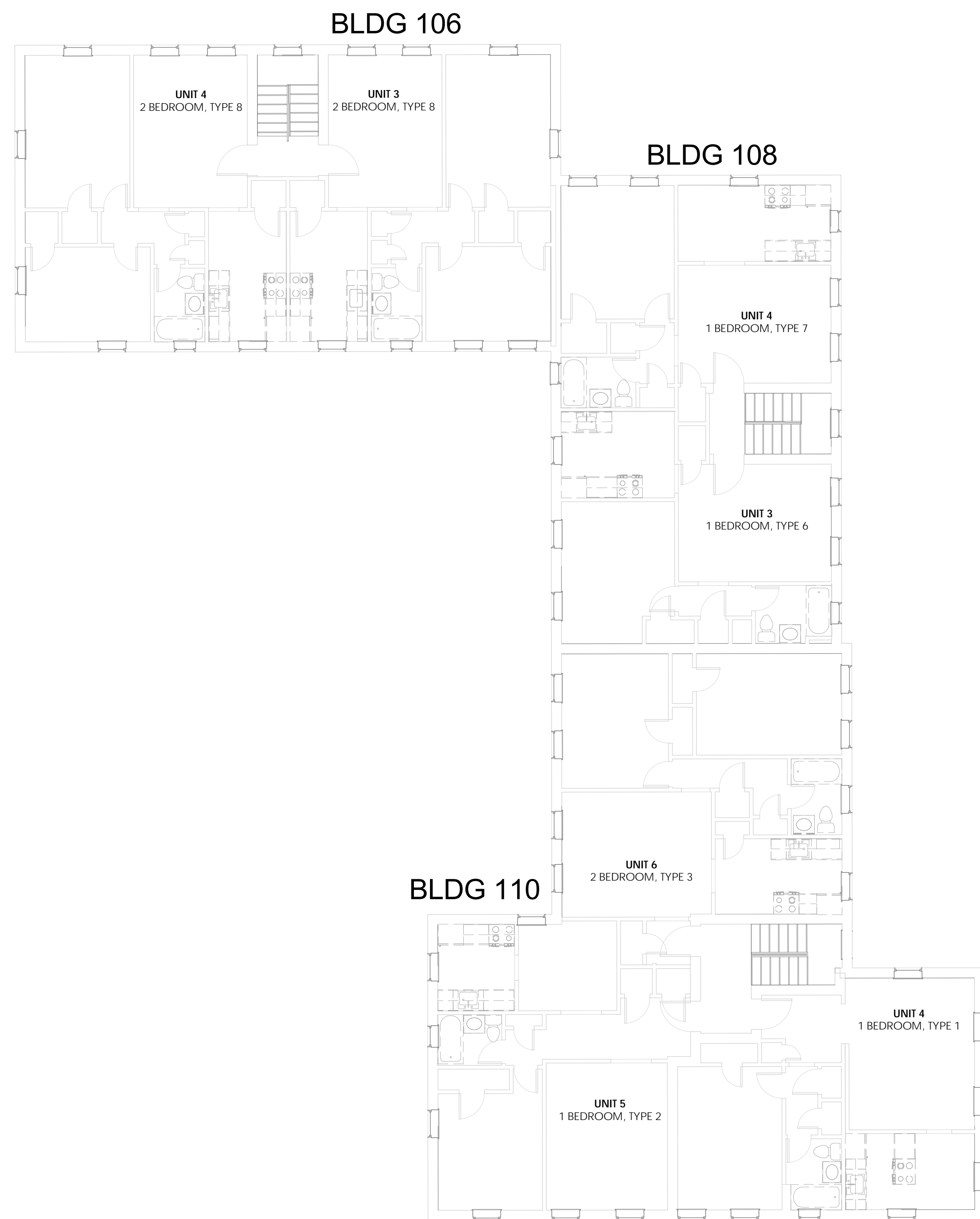
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF *(INSERT OWNER NAME)*. ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF *(INSERT OWNER NAME)*. THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

○ **GENERAL NOTES: FLOOR PLANS**

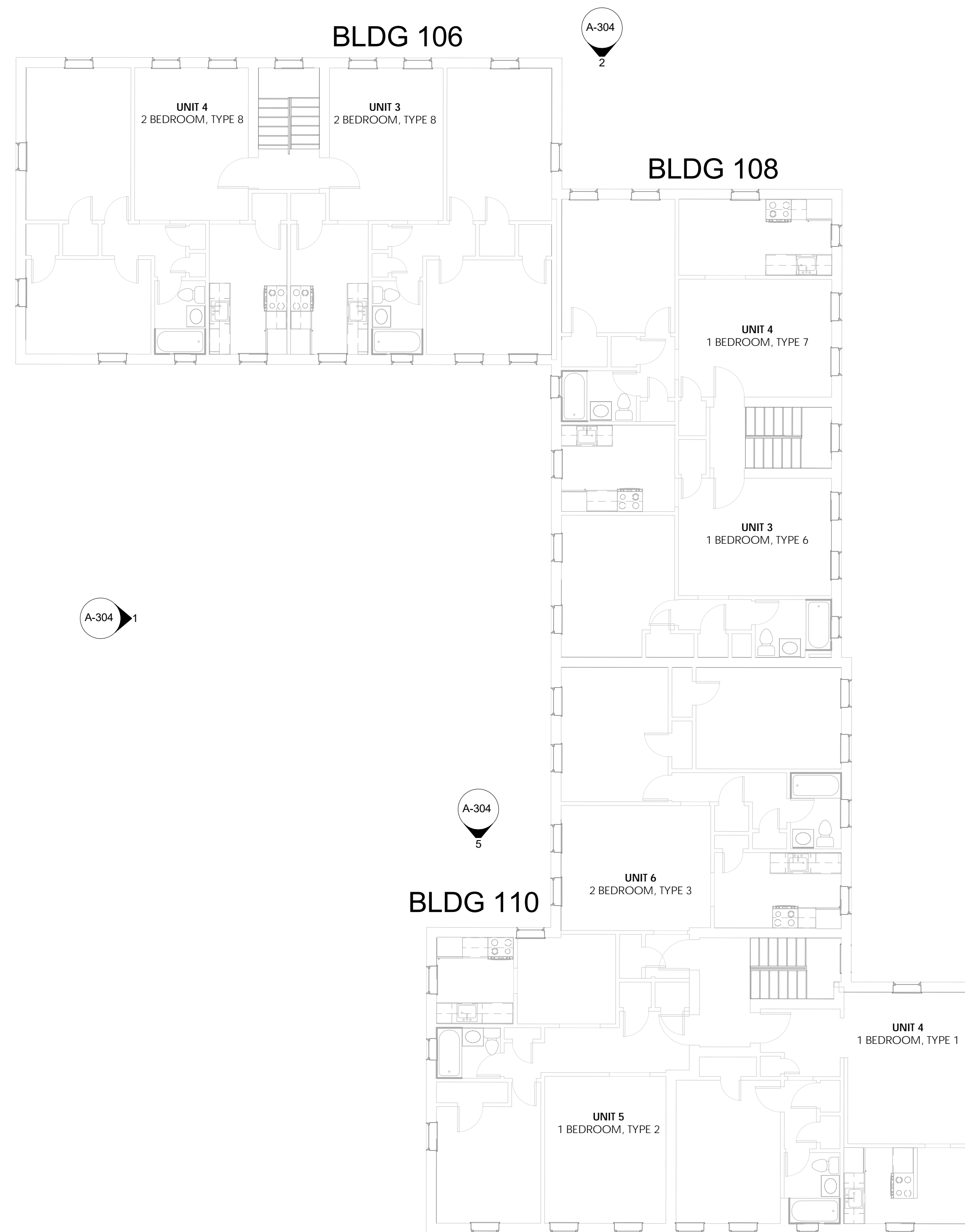
GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD, REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

○ **GENERAL NOTES: DEMOLITION**



2 2ND FLR. BUILDING III (106/108/110 - N. THOMAS ST.) DEMOLITION
 SCALE: 1/8" = 1'-0"



1 2ND FLR. BUILDING III (106/108/110 - N. THOMAS ST.) NEW WORK
 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING III

JOB NUMBER: 18204
 DRAWING NUMBER:

A-207

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

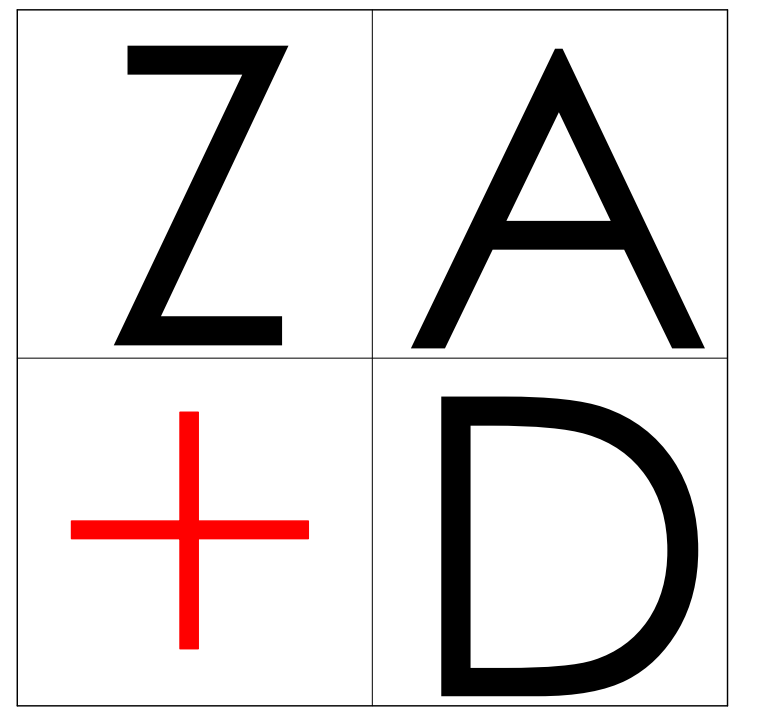
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

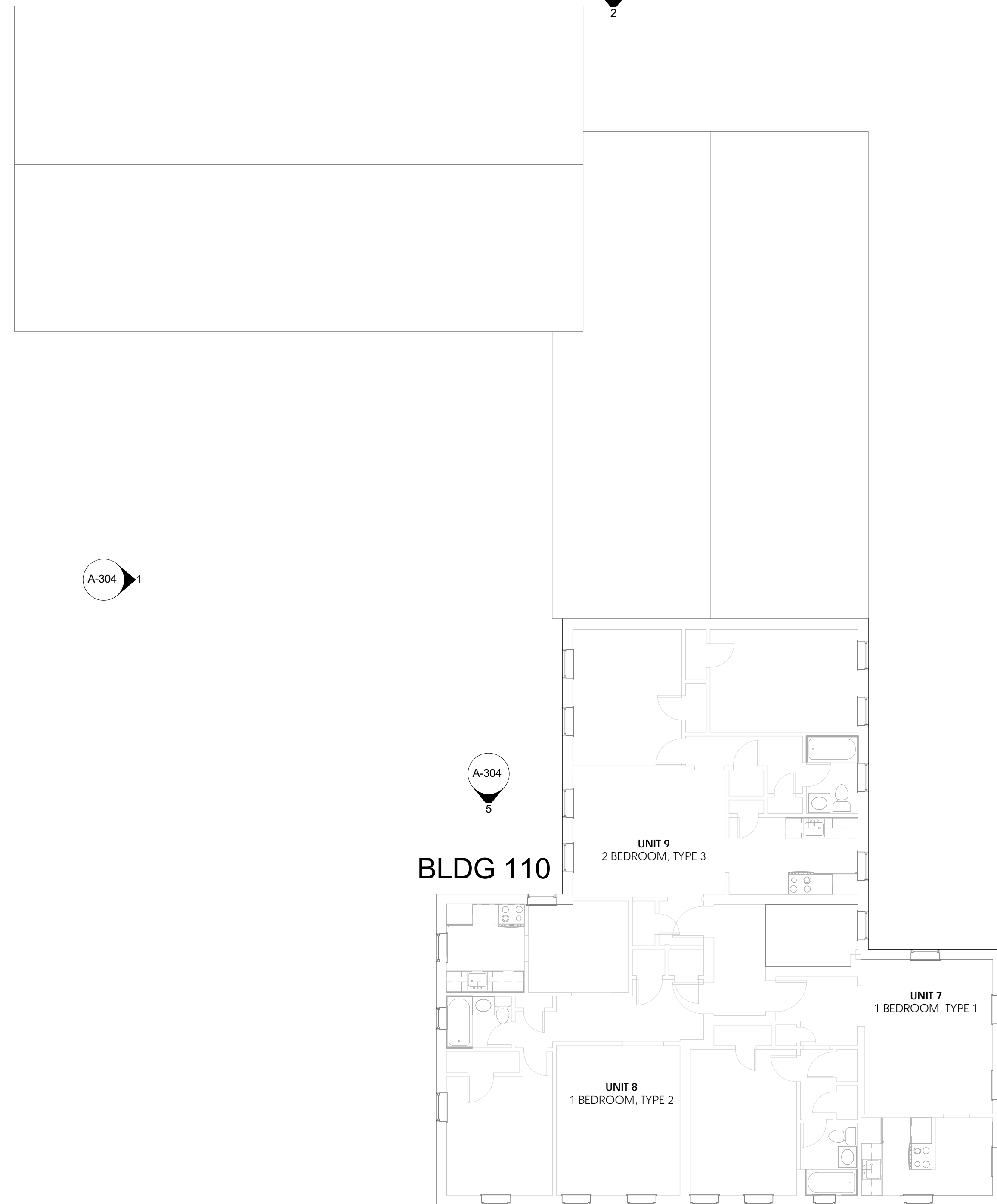
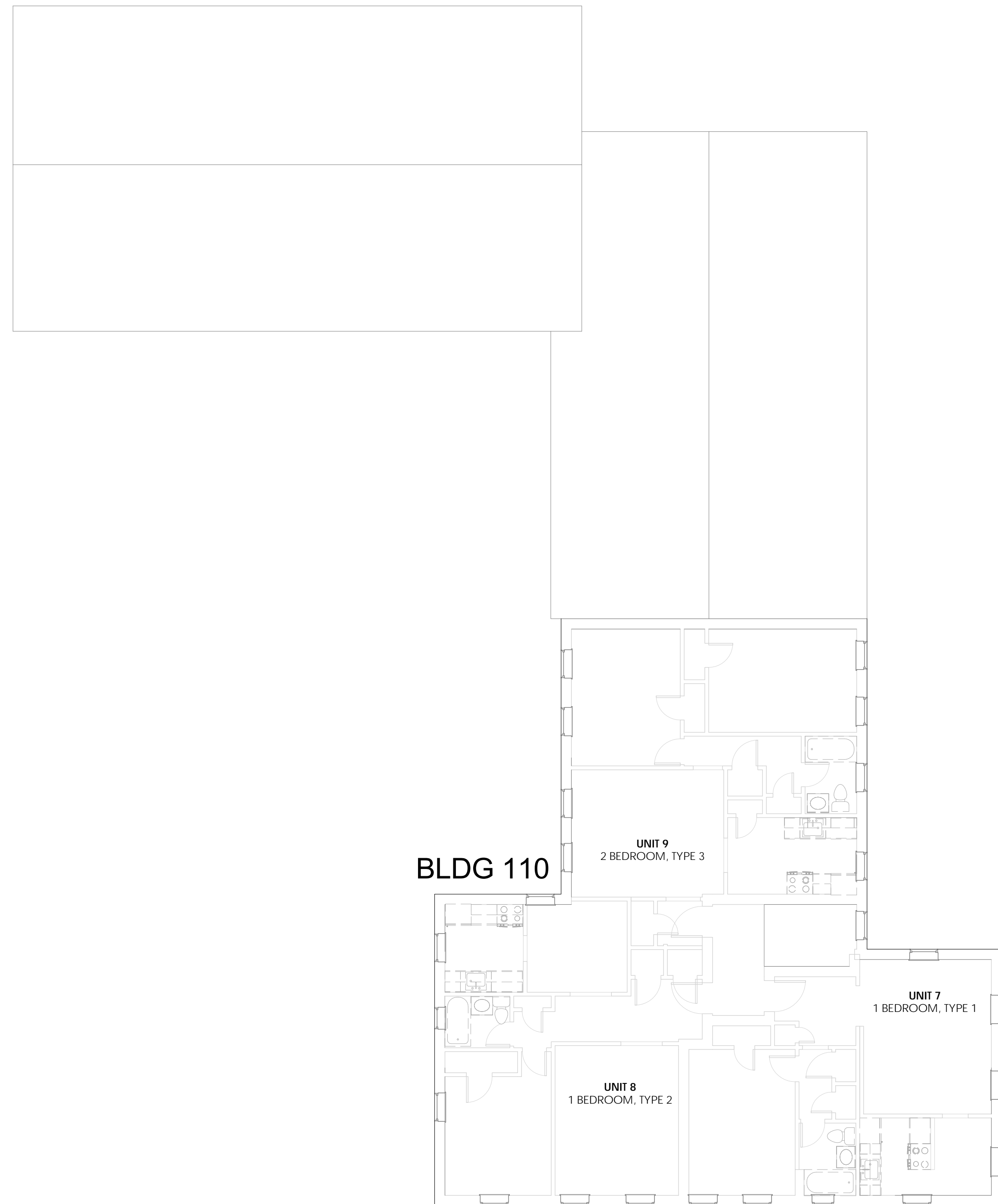
1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN, PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE. GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

GENERAL NOTES: DEMOLITION



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

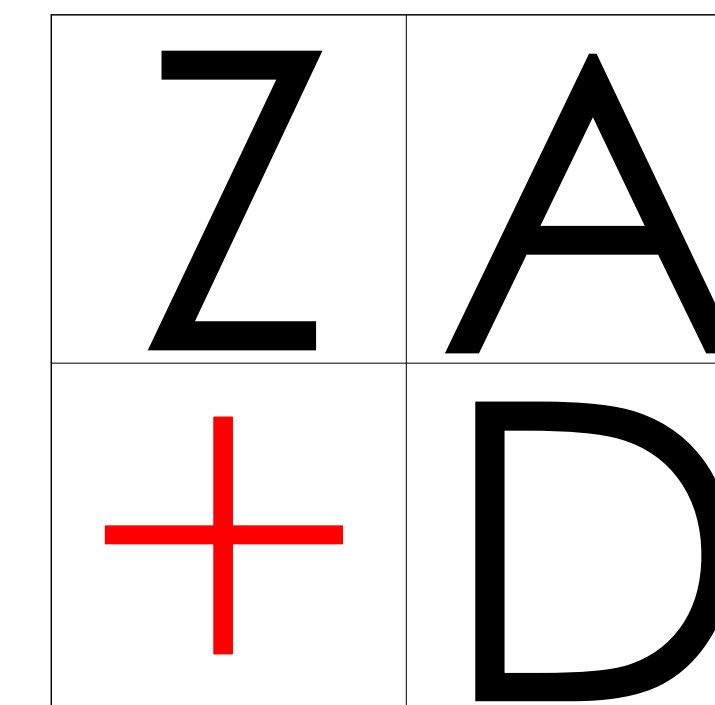
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING III

JOB NUMBER: 18204
 DRAWING NUMBER:

A-208

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

GENERAL NOTES: FLOOR PLANS

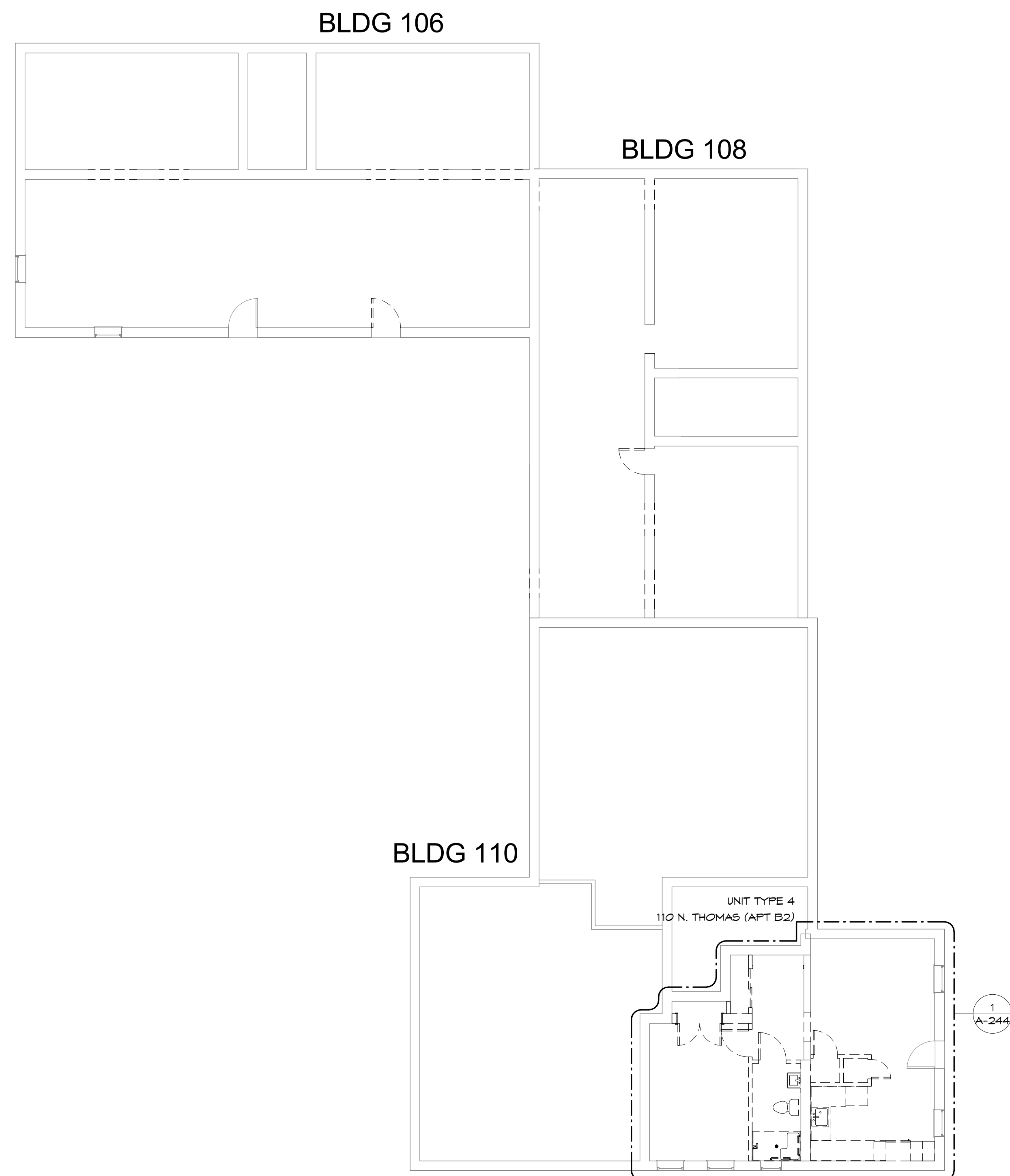
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

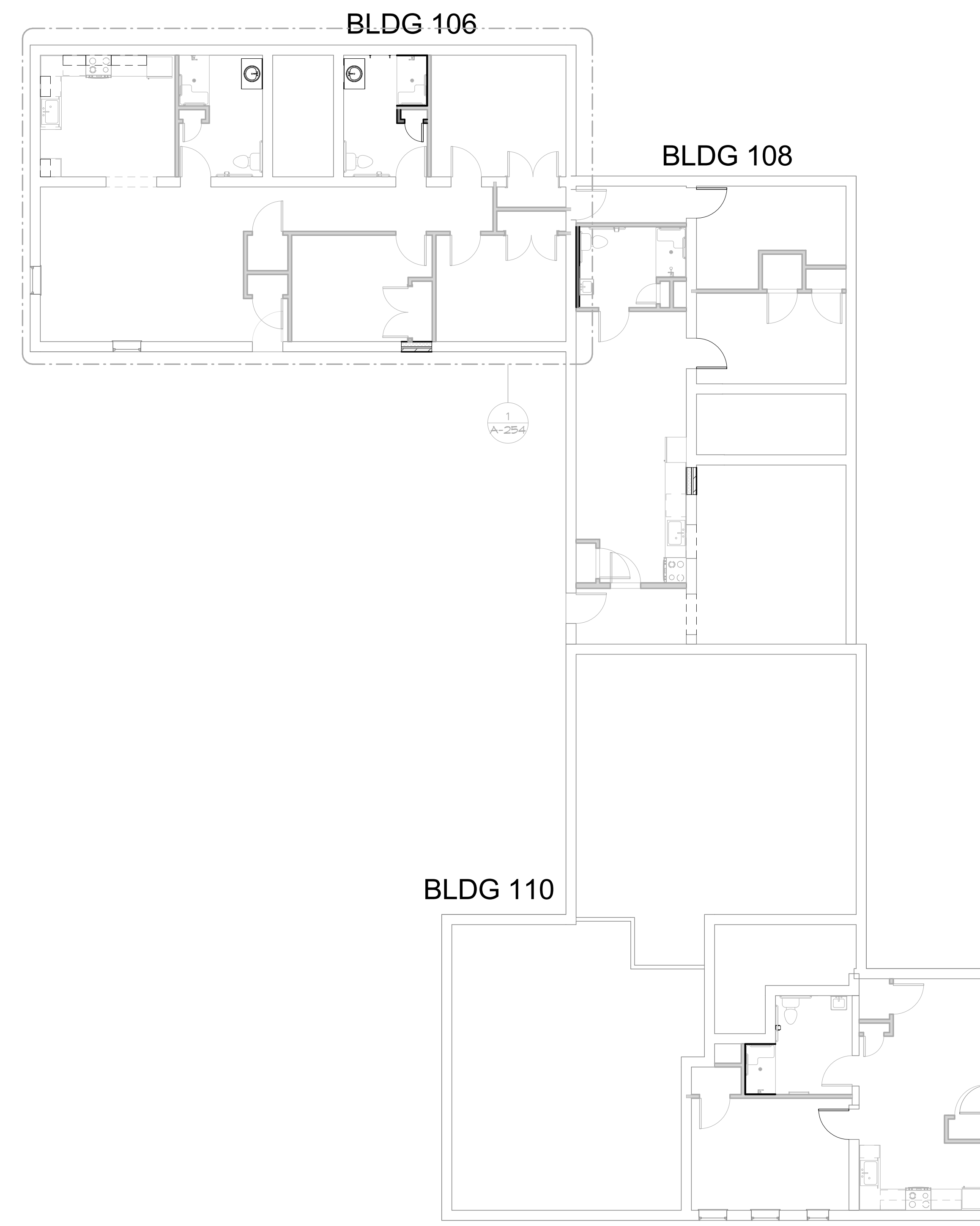
GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



2 BASEMENT BUILDING III (106/108/110 N. THOMAS ST.) DEMOLITION
 A-209 SCALE: 1/8" = 1'-0"



1 BASEMENT BUILDING III (106/108/110 N. THOMAS ST.) NEW WORK
 A-209 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.
 QUALITY CONTROL REVIEW
 SD REVIEWER INITIALS _____ DATE: _____
 DD REVIEWER INITIALS _____ DATE: _____
 CD REVIEWER INITIALS _____ DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 OVERALL FLOOR PLANS - BUILDING III BASEMENT

JOB NUMBER: 18204
 DRAWING NUMBER:

A-209

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

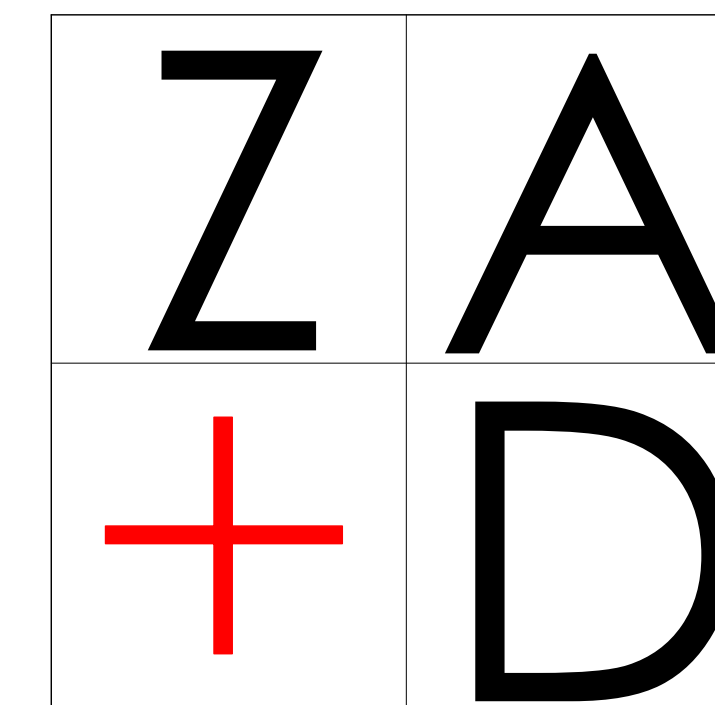
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
-

GENERAL NOTES: DEMOLITION



ZA+D design

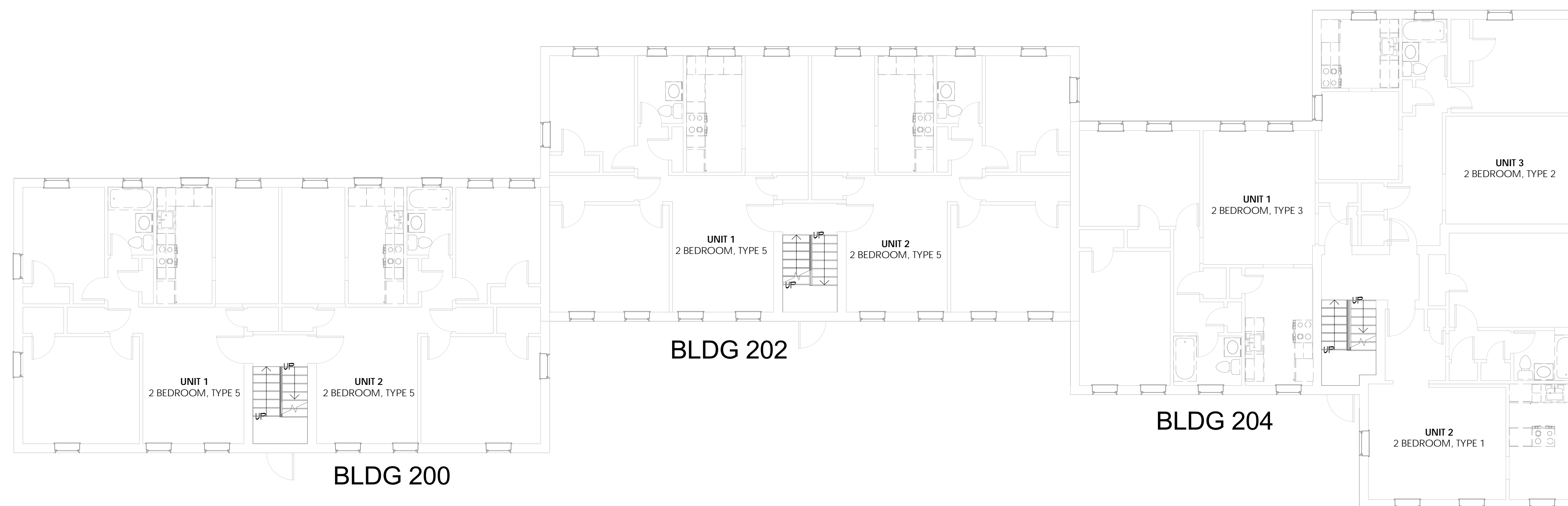
ZA+D interiors

ZA+D passiv

Redefining the Building Potential

PRINTS ISSUED

NO.	DESCRIPTION	DATE



ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

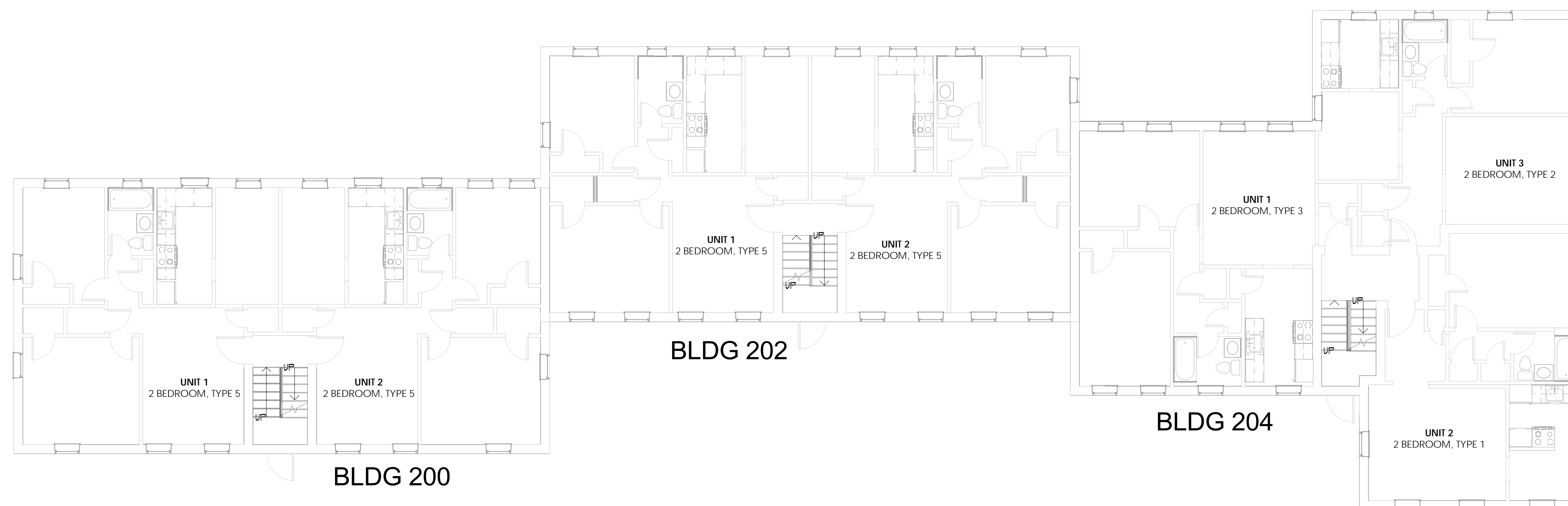
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE

2 1ST FLR. BUILDING IV (200/202/204 - N. THOMAS ST.) DEMOLITION

A-210 SCALE: 1/8" = 1'-0"



WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING IV

JOB NUMBER: 18204

DRAWING NUMBER:

A-210

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

1 1ST FLR. BUILDING IV (200/202/204 - N. THOMAS ST.) NEW WORK

A-210 SCALE: 1/8" = 1'-0"

GENERAL NOTES: FLOOR PLANS

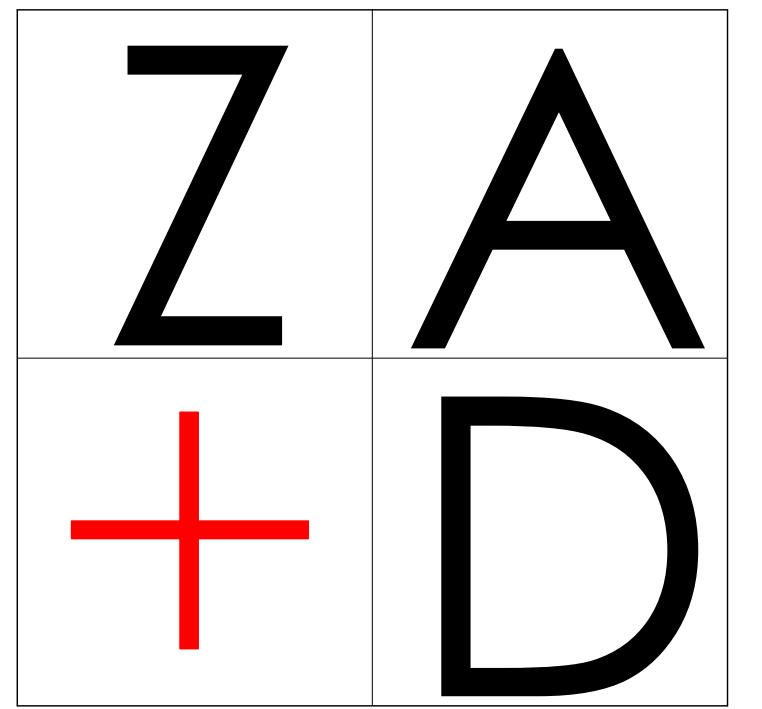
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF *(INSERT OWNER NAME)*. ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF *(INSERT OWNER NAME)*. THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS. NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WIND AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
10. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

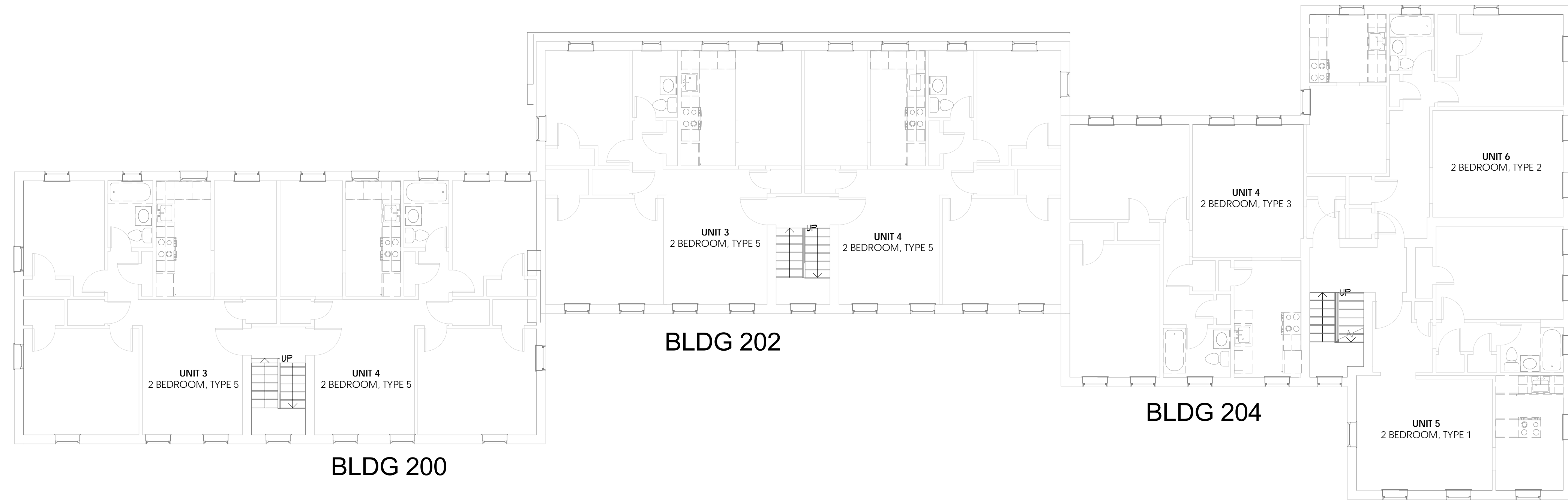
○ **GENERAL NOTES: FLOOR PLANS**

○ **GENERAL NOTES: DEMOLITION**



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

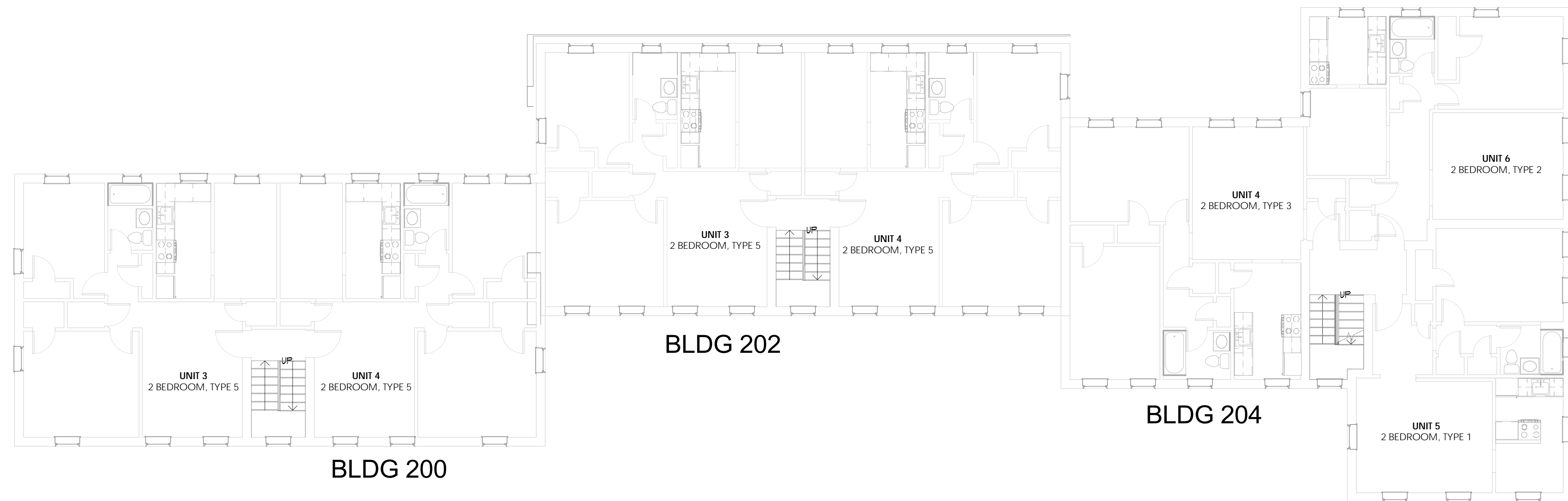


ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

2 2ND FLR. BUILDING IV (200/202/204 - N. THOMAS ST.) DEMOLITION
 A-211 SCALE: 1/8" = 1'-0"



WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 OVERALL FLOOR PLANS - BUILDING IV

JOB NUMBER: 18204
 DRAWING NUMBER:

A-211

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

1 2ND FLR. BUILDING IV (200/202/204 - N. THOMAS ST.) NEW WORK
 A-211 SCALE: 1/8" = 1'-0"

GENERAL NOTES: FLOOR PLANS

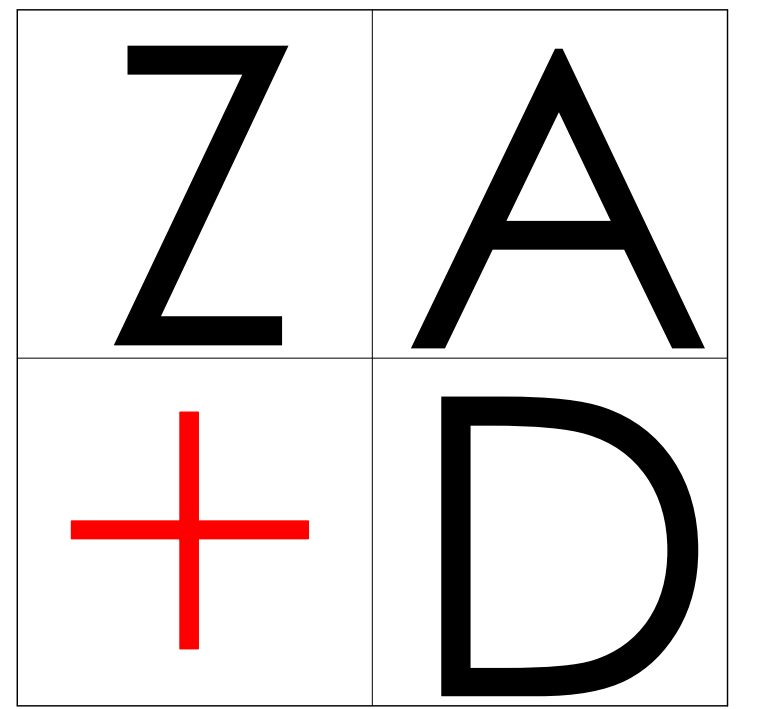
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
6. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

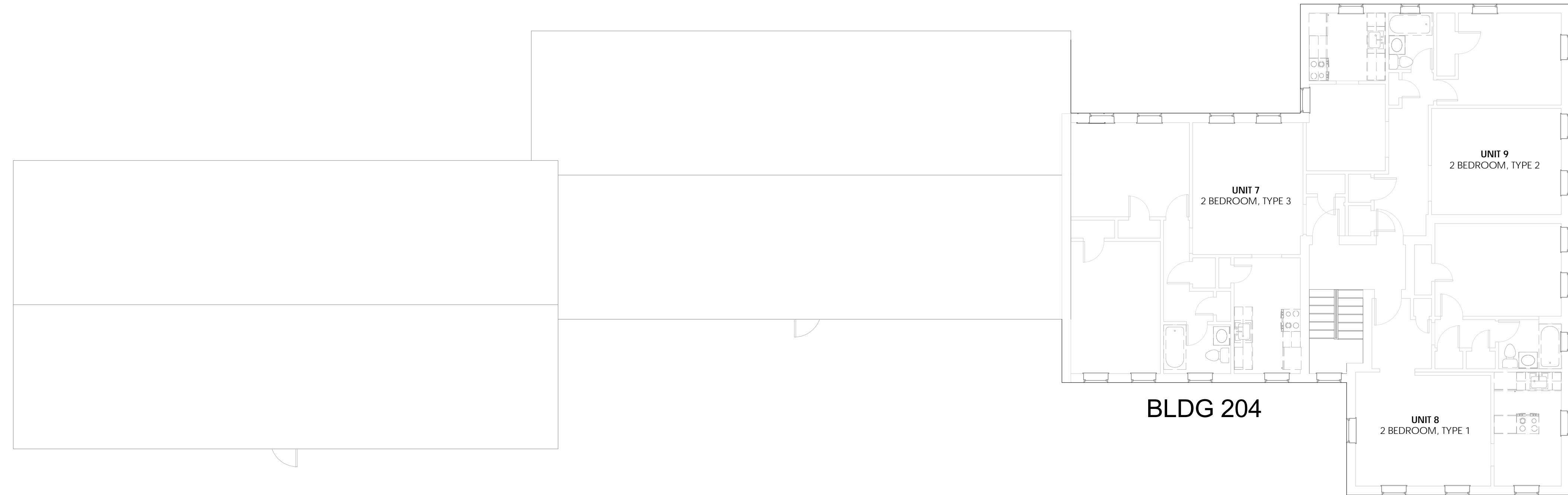
1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER; WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



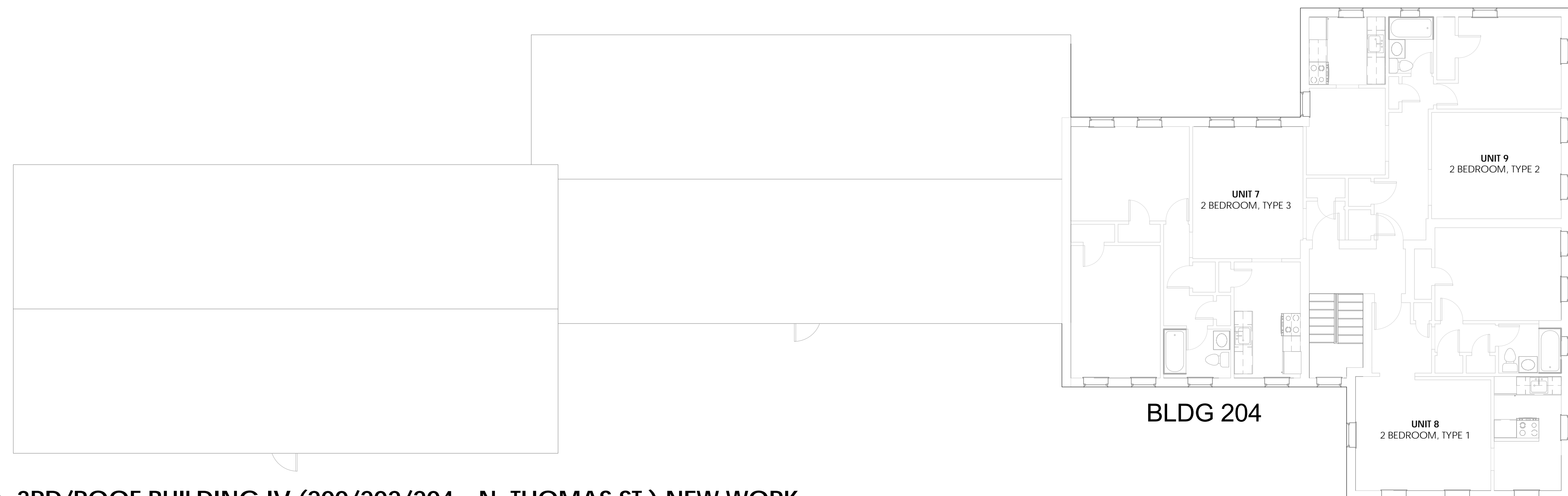
2 3RD/ROOF BUILDING IV (200/202/204 - N. THOMAS ST.) DEMOLITION

A-212 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

<small>QUALITY CONTROL REVIEW</small>	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____



1 3RD/ROOF BUILDING IV (200/202/204 - N. THOMAS ST.) NEW WORK

A-212 SCALE: 1/8" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
OVERALL FLOOR PLANS - BUILDING IV

JOB NUMBER: 18204
 DRAWING NUMBER:

A-212

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: FLOOR PLANS

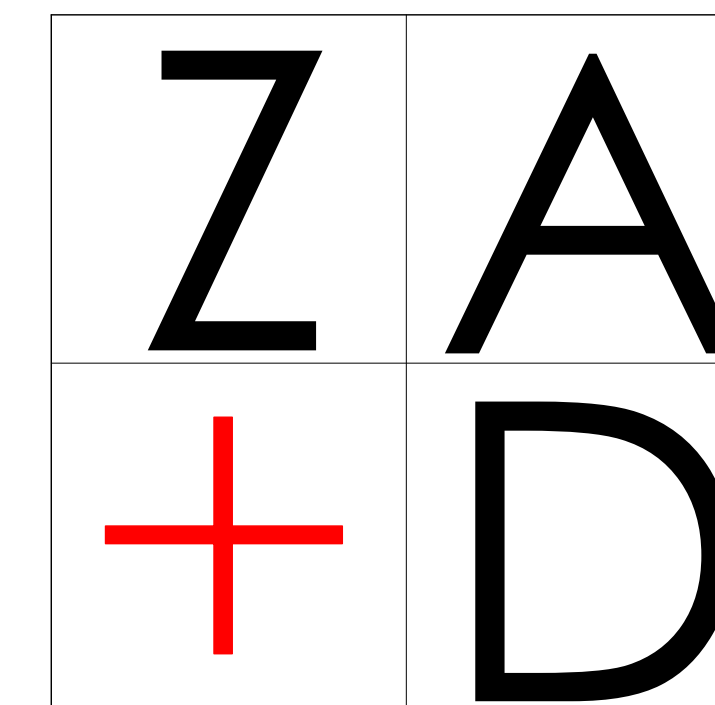
1. ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
2. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
3. ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
5. GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.
- 6.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
2. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
3. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
4. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
5. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
9. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

GENERAL NOTES: DEMOLITION



ZA+D design

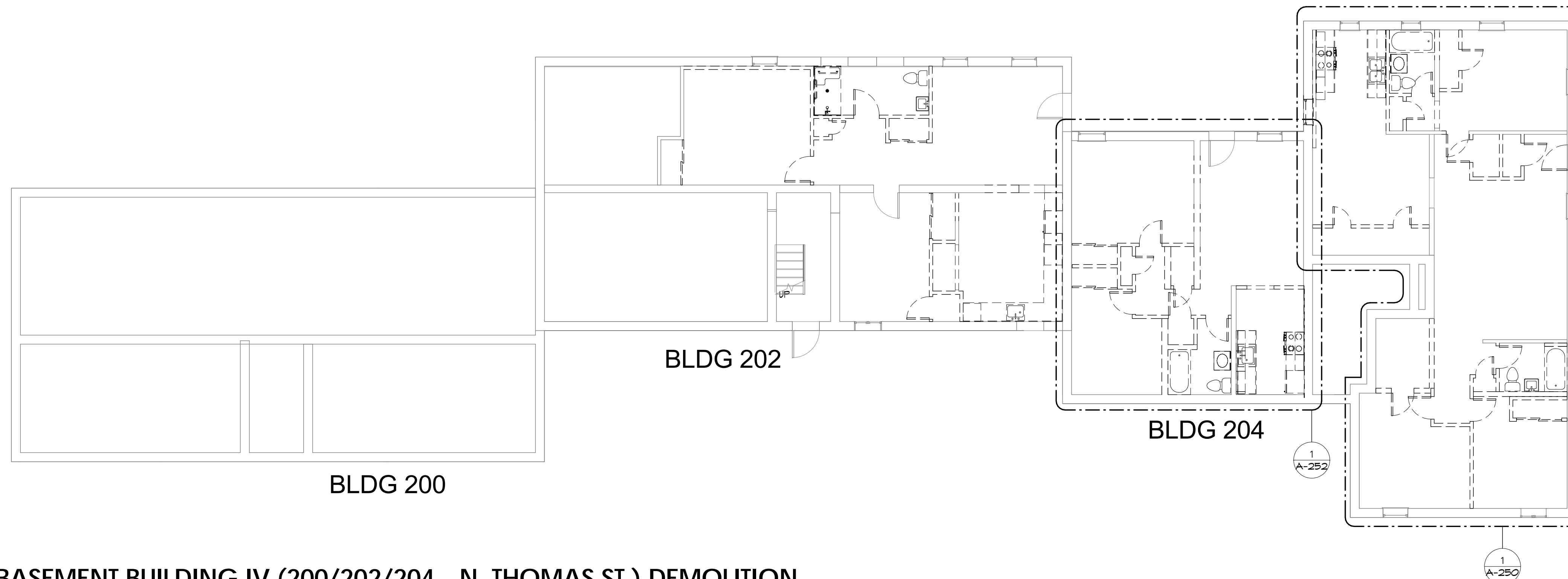
ZA+D interiors

ZA+D passiv

Redefining the Building Potential

PRINTS ISSUED

NO.	DESCRIPTION	DATE



ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

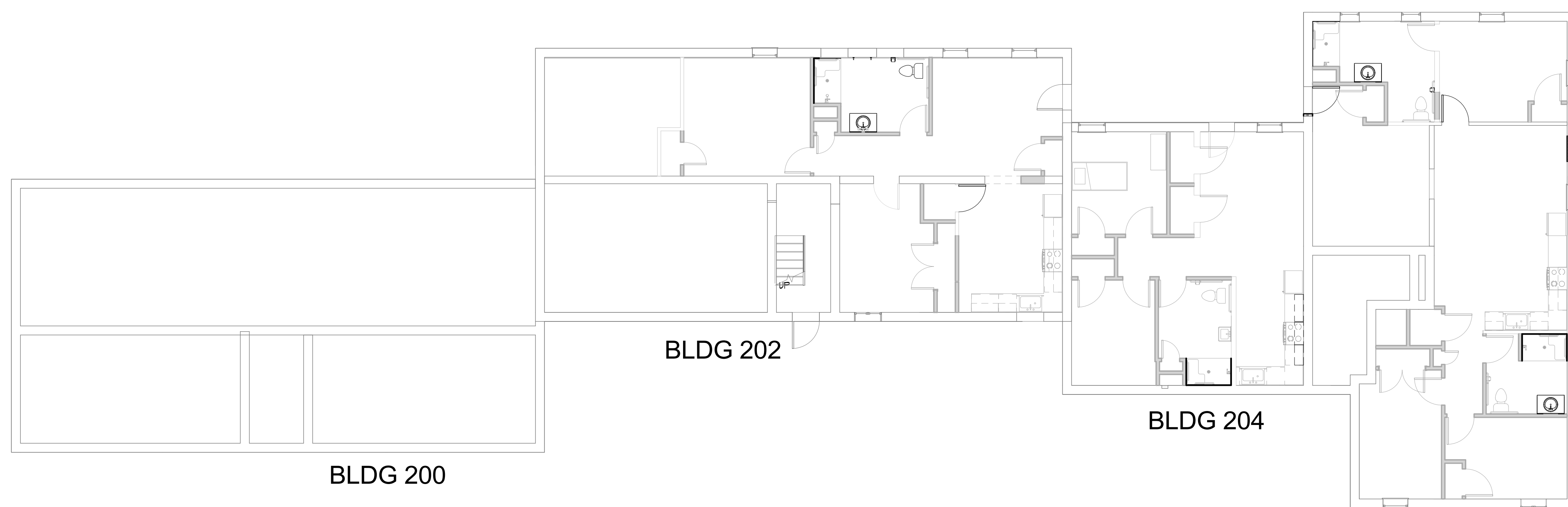
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS _____ DATE: _____
 DD REVIEWER INITIALS _____ DATE: _____
 CD REVIEWER INITIALS _____ DATE: _____

2 BASEMENT BUILDING IV (200/202/204 - N. THOMAS ST.) DEMOLITION

A-213 SCALE: 1/8" = 1'-0"



WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 OVERALL FLOOR PLANS - BUILDING IV BASEMENT

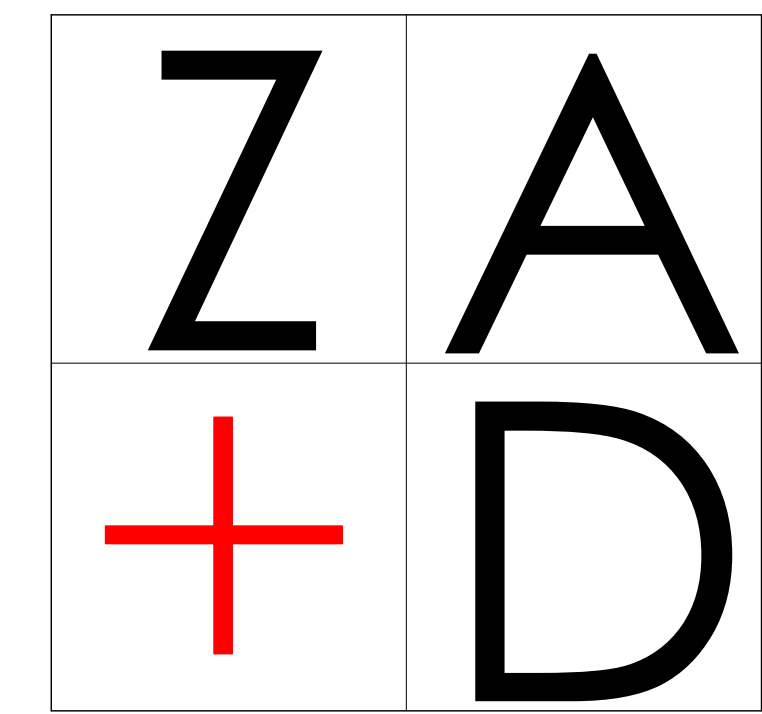
JOB NUMBER: 18204
 DRAWING NUMBER:

A-213

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

1 BASEMENT BUILDING IV (200/202/204 - N. THOMAS ST.) NEW WORK

A-213 SCALE: 1/8" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 1

JOB NUMBER: 18204
 DRAWING NUMBER:

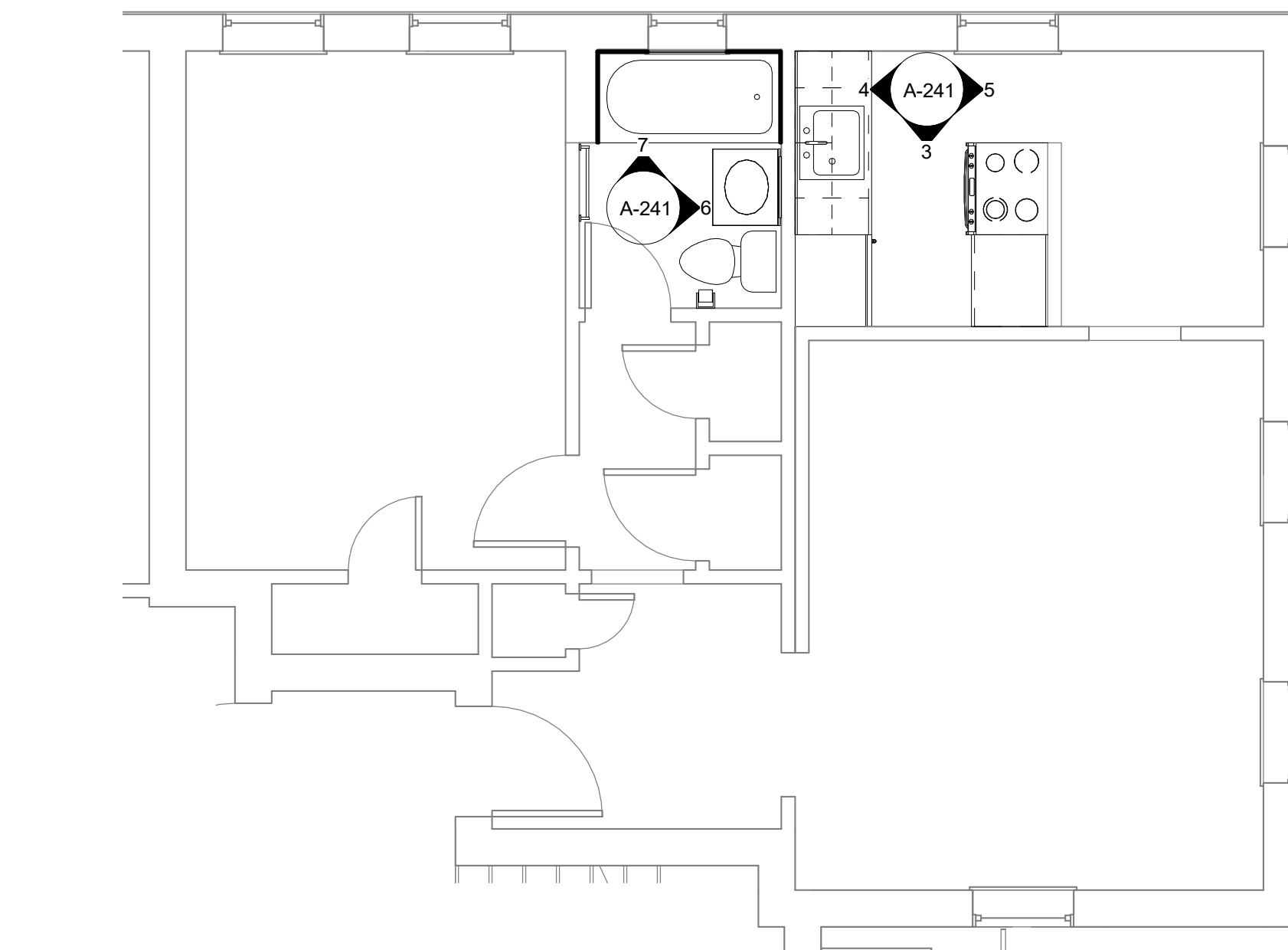
A-241

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS. NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



1 ENLARGED PLAN - UNIT TYPE 1 - NEW WORK

A-241 SCALE: 1/4" = 1'-0"

GENERAL NOTES: REFLECTED CEILING PLAN

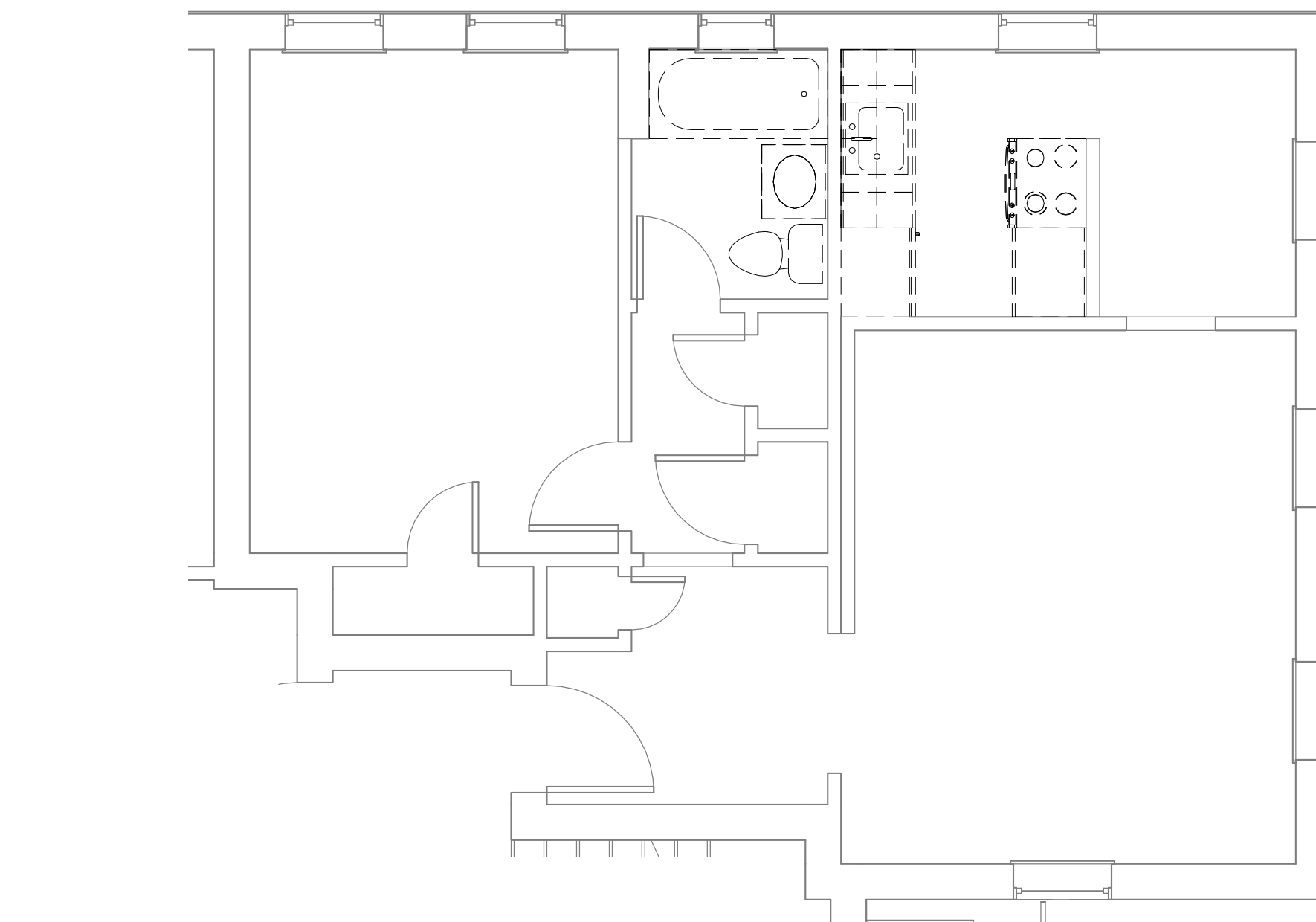
NEW CONSTRUCTION/FIT OUT:

- ALL LAY-IN CEILING TILE AND ASSOCIATED GRID TO BE EQUALLY SPACED IN ROOM. U.O.N. WHEN POSSIBLE, AVOID USING TILES LESS THAN 4" IN ANY DIRECTION.
- DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM, W/ 1/2" GYP. BD. (5/8" TYPE 'X' AT RATED ASSEMBLIES).
- DIMENSIONS ARE CALCULATED FROM FACE OF CORE TO FACE OF CORE, U.O.N.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
- LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
- UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- COORDINATE EXISTING SPRINKLER HEADS WITH NEW CEILING SYSTEM.

REHAB/RENOVATION:

- DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM W/ 1/2" GYP. BD. (USE 5/8" TYPE 'X' GYP. BD. AT RATED ASSEMBLIES).
- NEW LIGHT FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOXES. U.O.N. COORDINATE W/ ELECTRICAL DRAWINGS.
- DIMENSIONS ARE CALCULATED FROM FACE OF EXISTING FINISH TO FACE OF NEW CORE. U.O.N.
- PATCH CRACKS, NAIL POPS, AND HOLES IN EXISTING DRYWALL CEILINGS. FINISH PER FINISH SCHEDULE AND SPECIFICATIONS.
- COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
- REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
- LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
- UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

GENERAL NOTES: REFLECTED CEILING PLAN



2 ENLARGED PLAN - UNIT TYPE 1 - DEMOLITION

A-241 SCALE: 1/4" = 1'-0"

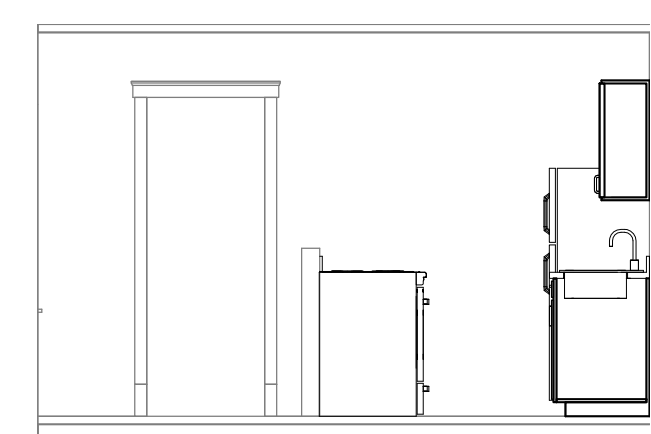
GENERAL NOTES: FLOOR PLANS

- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

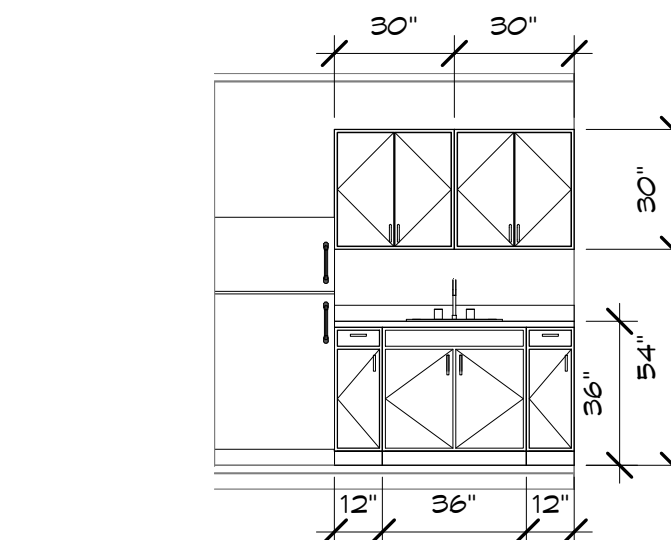
KEYED NOTES	
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2008 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE

B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2008 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE



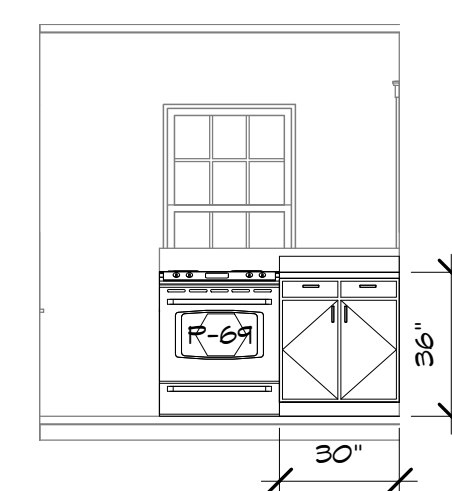
3 UNIT TYPE 1 - KITCHEN ELEV 1

A-241 SCALE: 1/4" = 1'-0"



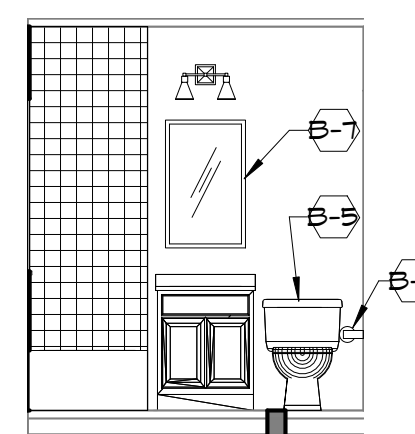
4 UNIT TYPE 1 - KITCHEN ELEV 2

A-241 SCALE: 1/4" = 1'-0"



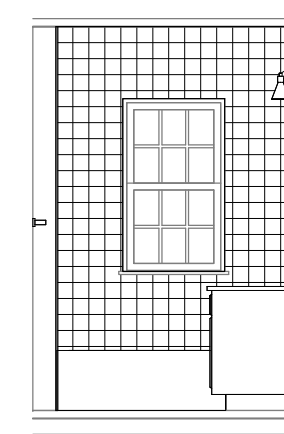
5 UNIT TYPE 1 - KITCHEN ELEV 3

A-241 SCALE: 1/4" = 1'-0"



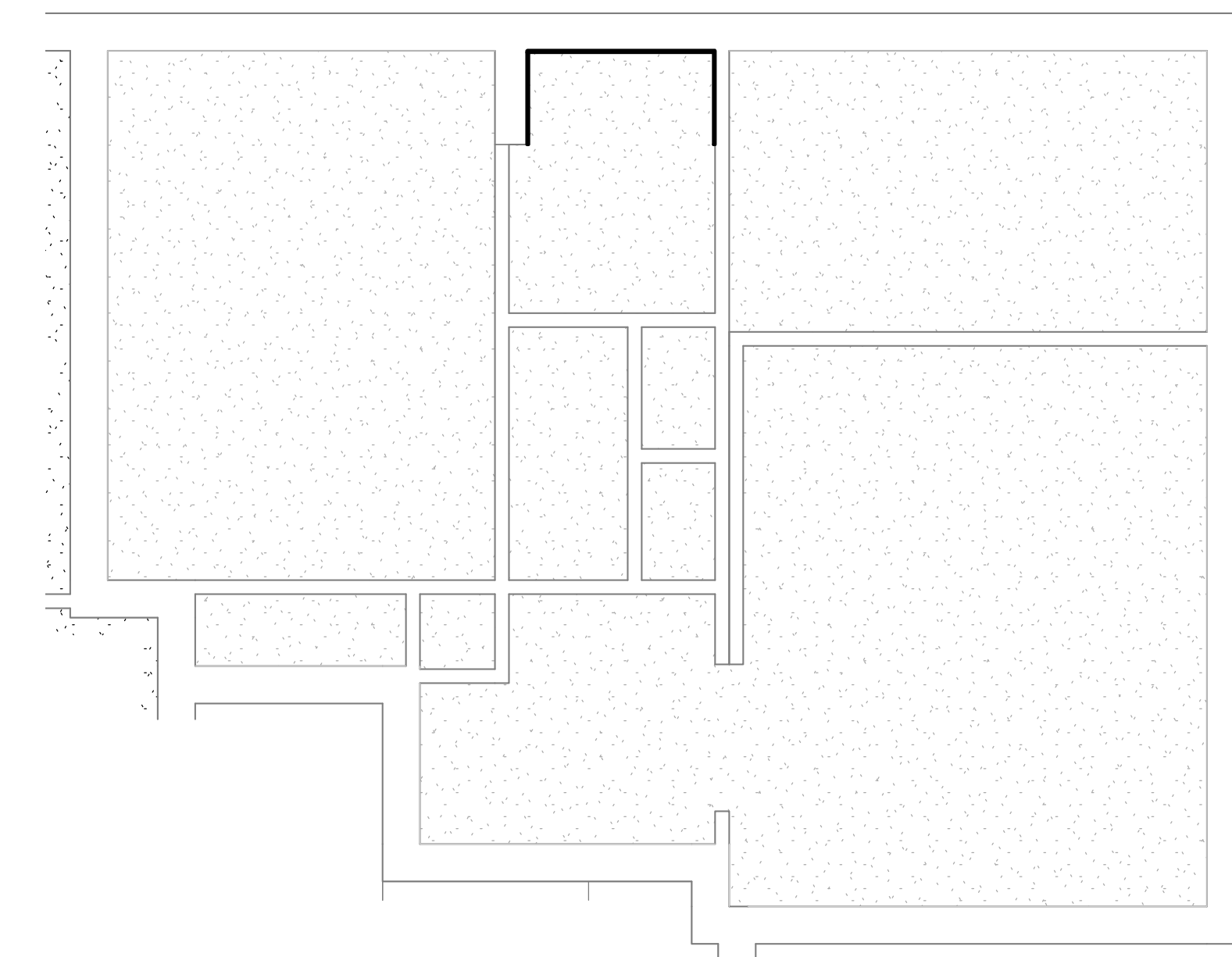
6 UNIT TYPE 1 - BATHROOM ELEV 1

A-241 SCALE: 1/4" = 1'-0"



7 UNIT TYPE 1 - BATHROOM ELEV 2

A-241 SCALE: 1/4" = 1'-0"



8 ENLARGED PLAN - UNIT TYPE 1 - RCP

A-241 SCALE: 1/4" = 1'-0"

KEYED NOTES	
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

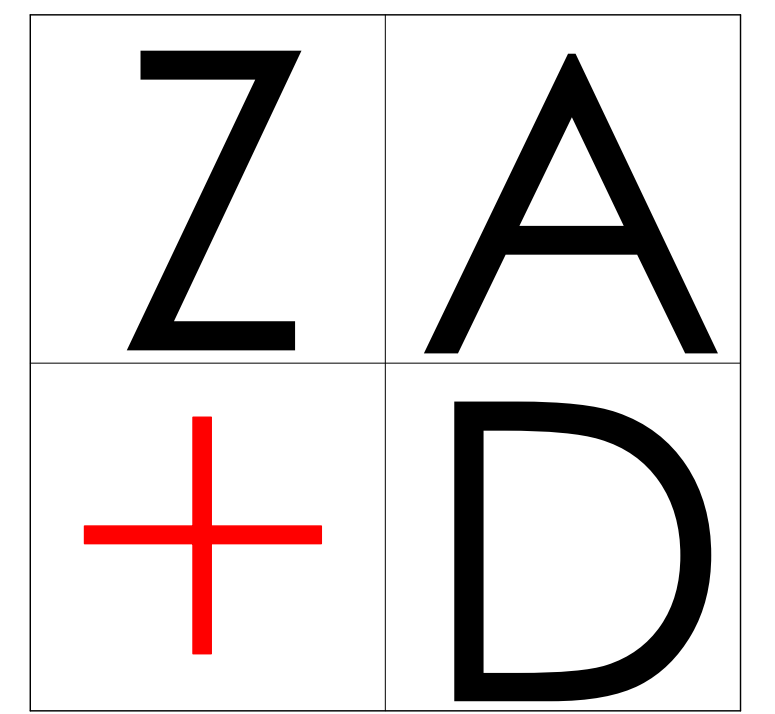
- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
 - THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
 - DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

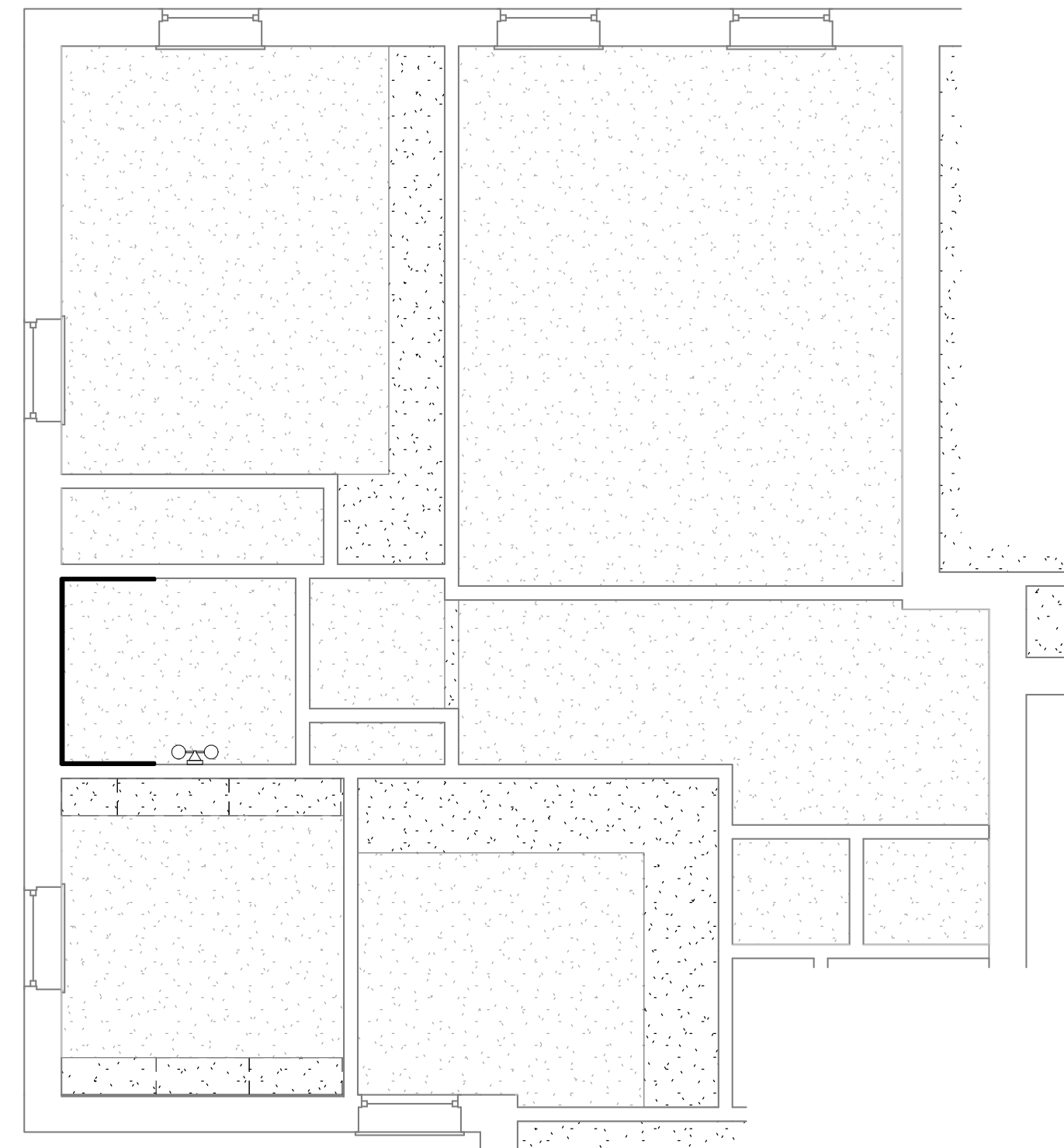
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

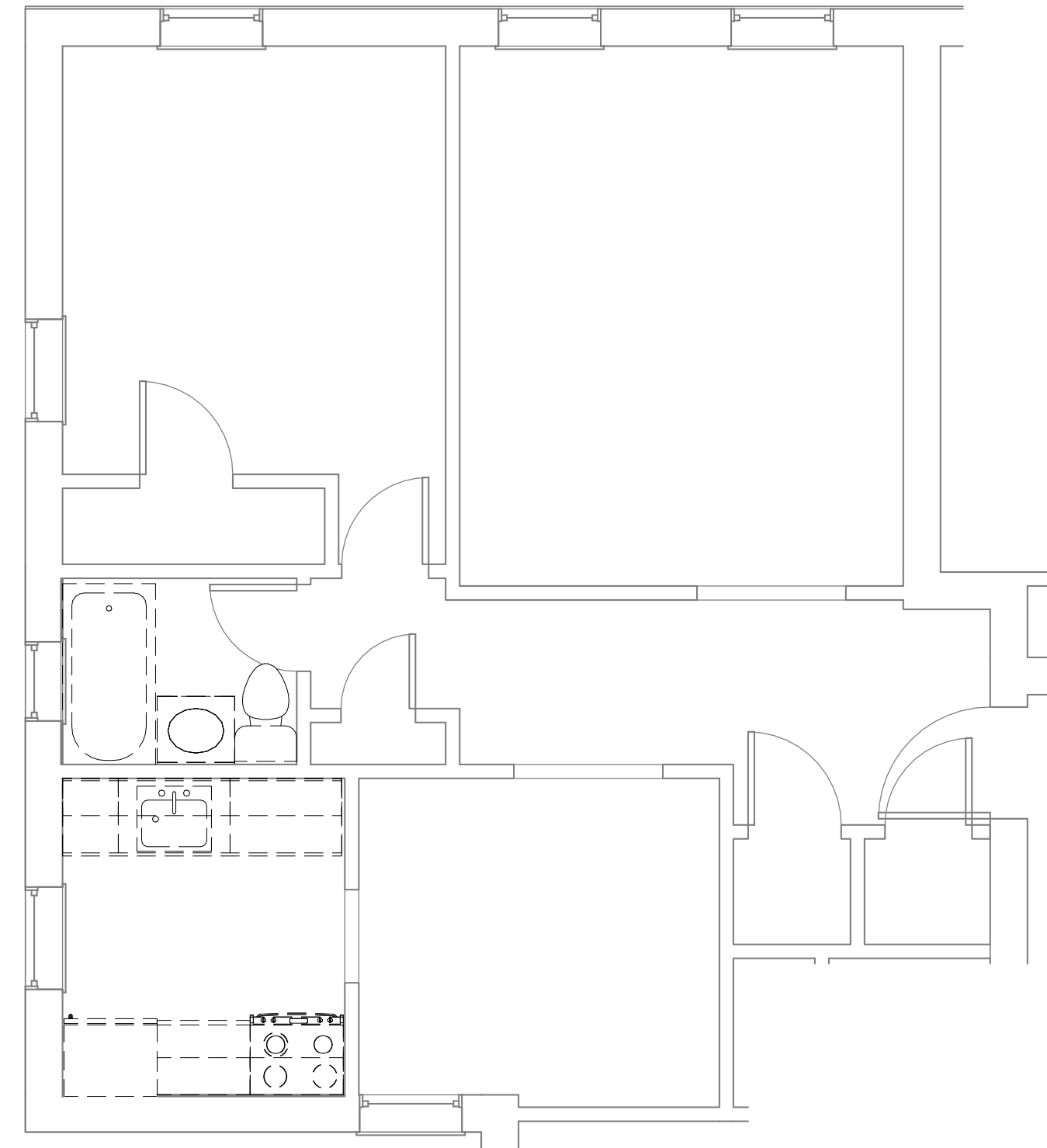


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

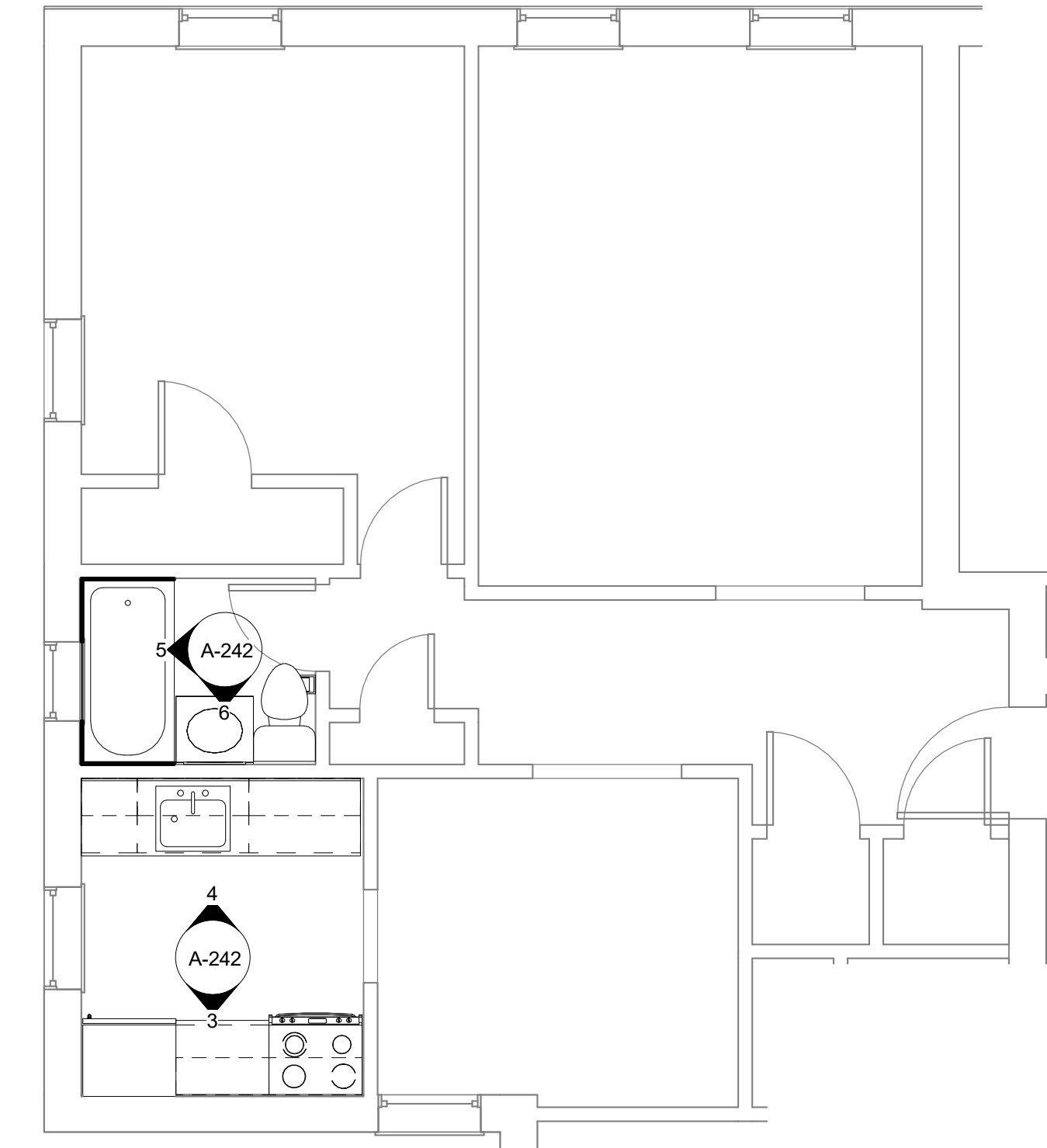
PRINTS ISSUED		
NO.	DESCRIPTION	DATE



7 ENLARGED PLAN - UNIT TYPE 2 - RCP
 A-242 SCALE: 1/4" = 1'-0"



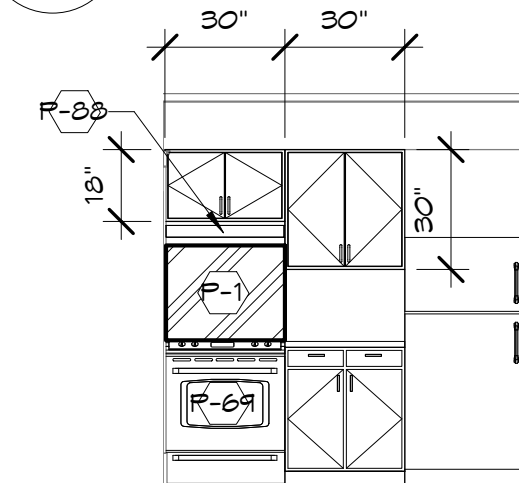
2 ENLARGED PLAN - UNIT TYPE 2 - DEMOLITION
 A-242 SCALE: 1/4" = 1'-0"



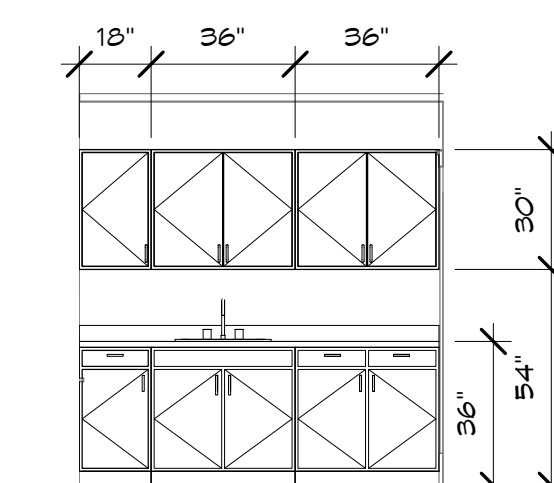
1 ENLARGED PLAN - UNIT TYPE 2 - NEW WORK
 A-242 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

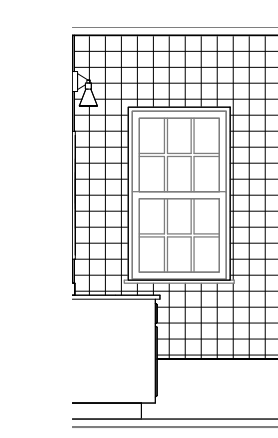
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.
 QUALITY CONTROL REVIEW
 SD REVIEWER INITIALS _____ DATE: _____
 DD REVIEWER INITIALS _____ DATE: _____
 CD REVIEWER INITIALS _____ DATE: _____



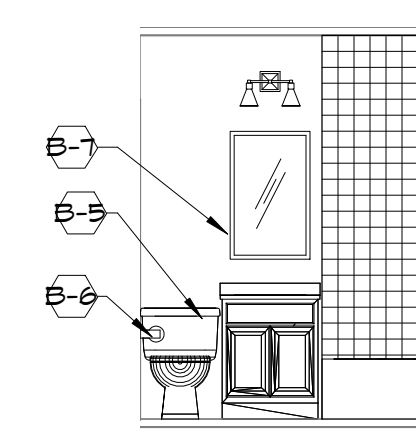
3 UNIT TYPE 2 - KITCHEN ELEV 1
 A-242 SCALE: 1/4" = 1'-0"



4 UNIT TYPE 2 - KITCHEN ELEV 2
 A-242 SCALE: 1/4" = 1'-0"



5 UNIT TYPE 2 - BATHROOM ELEV 1
 A-242 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 2 - BATHROOM ELEV 2
 A-242 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 2

JOB NUMBER: 18204
 DRAWING NUMBER:

A-242
 323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com

KEYED NOTES

B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

GENERAL NOTES: FLOOR PLANS

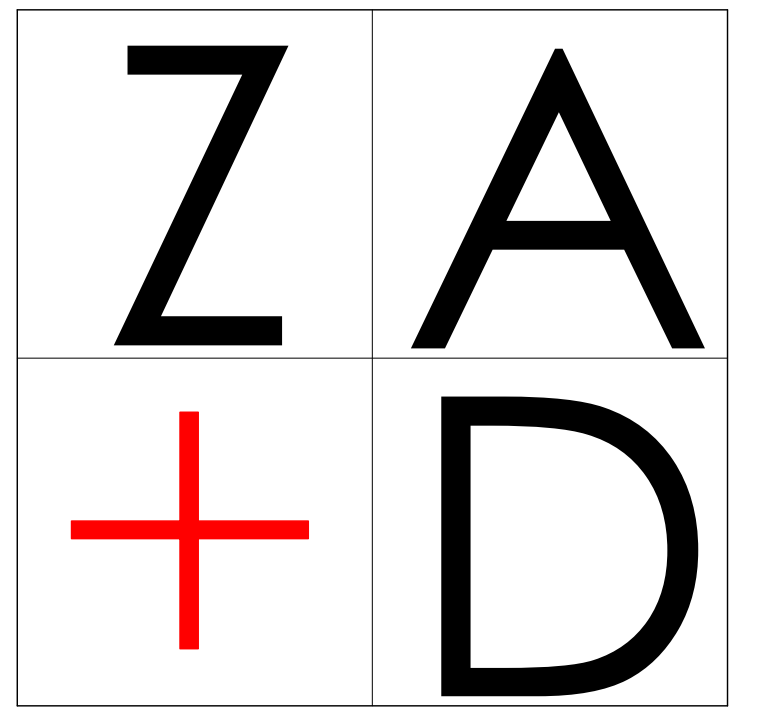
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

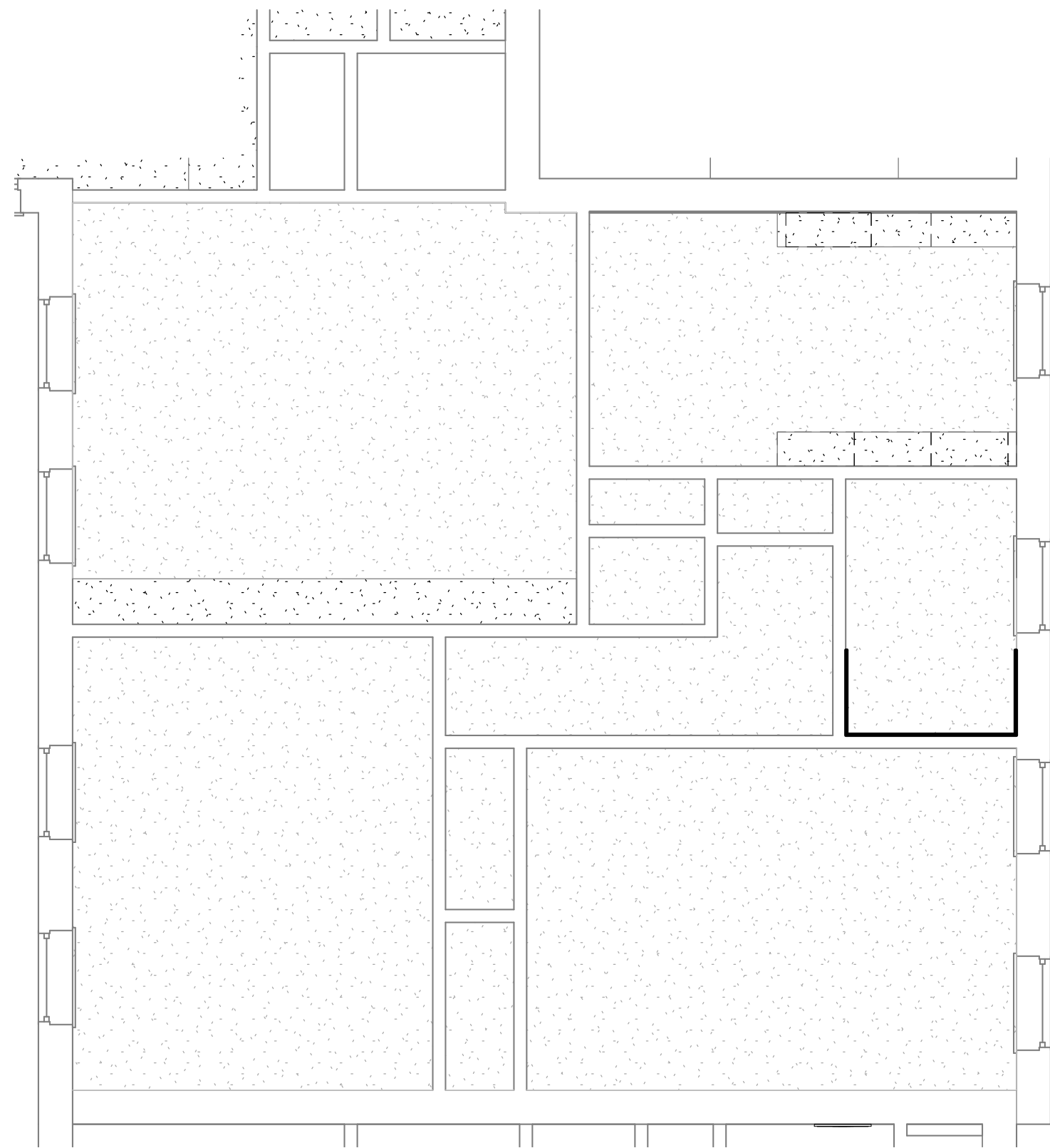
GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

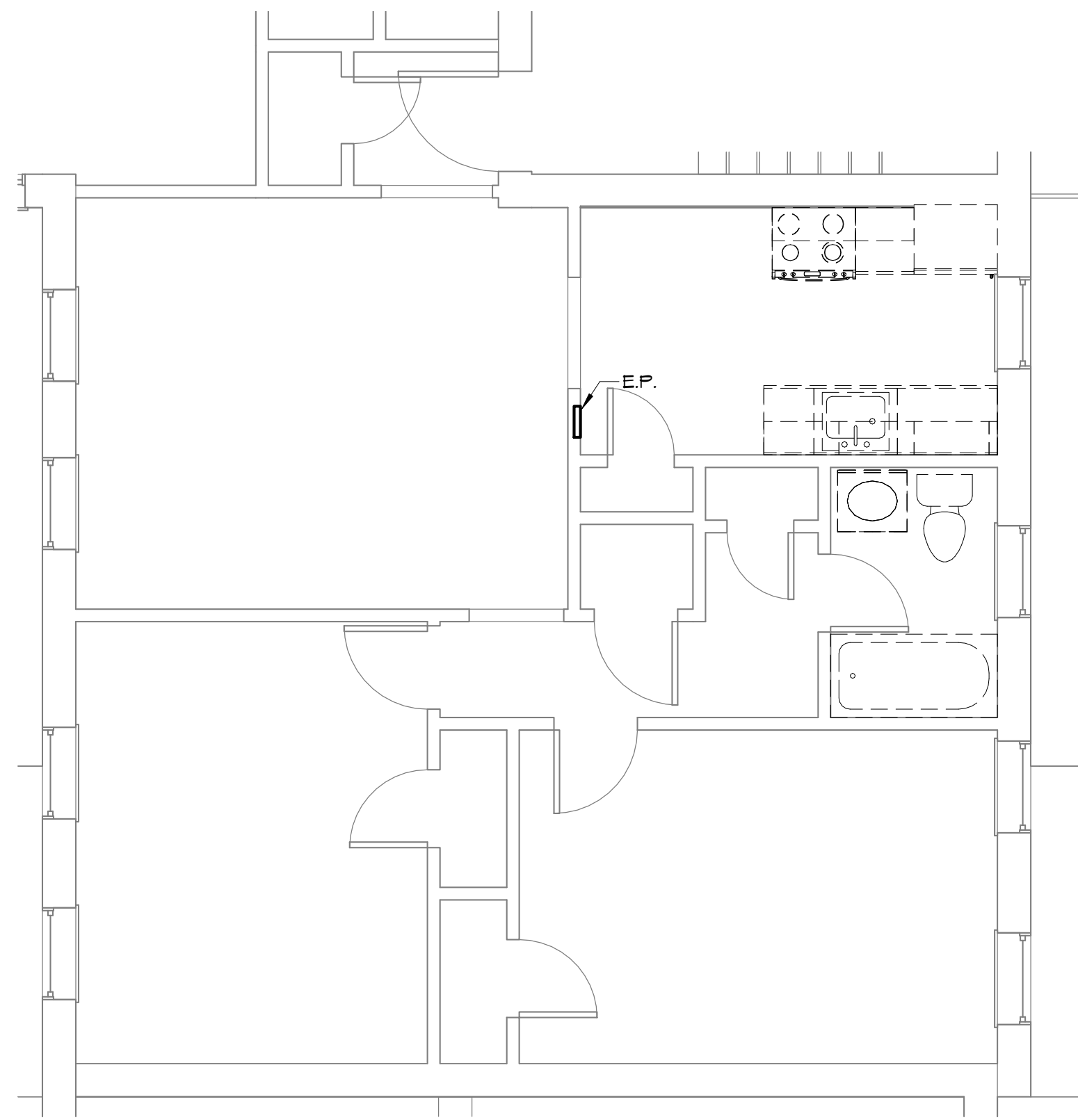


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

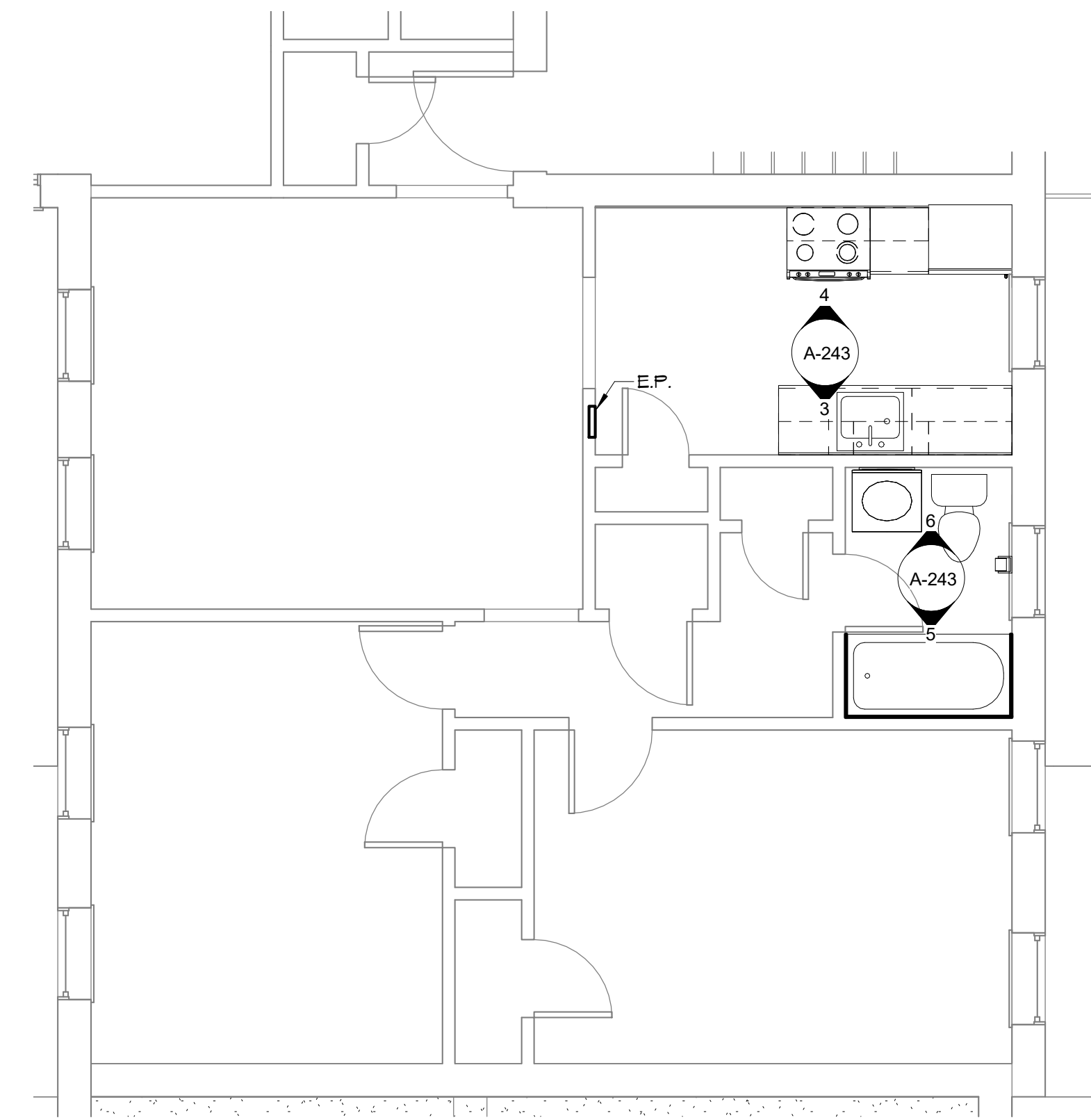
PRINTS ISSUED		
NO.	DESCRIPTION	DATE



7
A-243 ENLARGED PLAN - UNIT TYPE 3 - RCP
 SCALE: 1/4" = 1'-0"



2
A-243 ENLARGED PLAN - UNIT TYPE 3 - DEMOLITION
 SCALE: 1/4" = 1'-0"



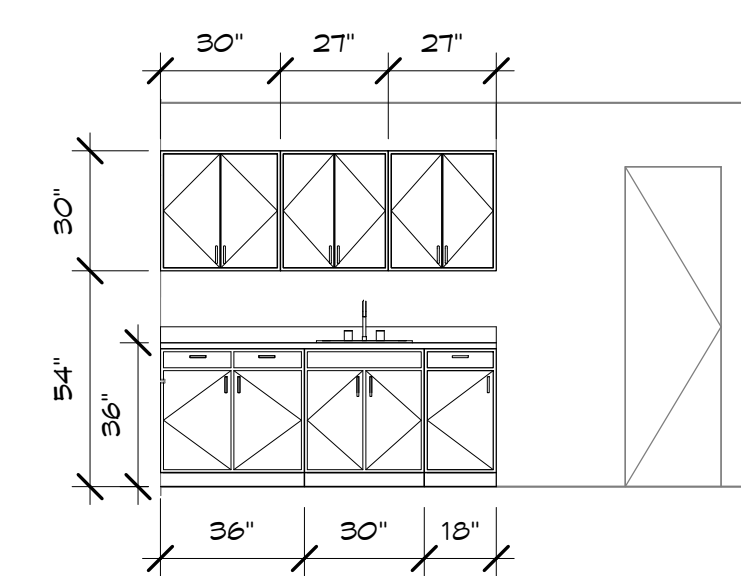
1
A-243 ENLARGED PLAN - UNIT TYPE 3 - NEW WORK
 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

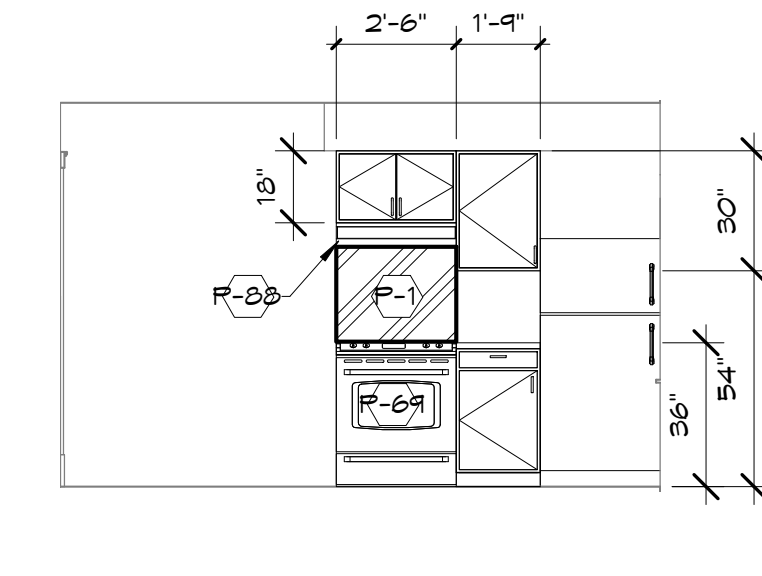
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

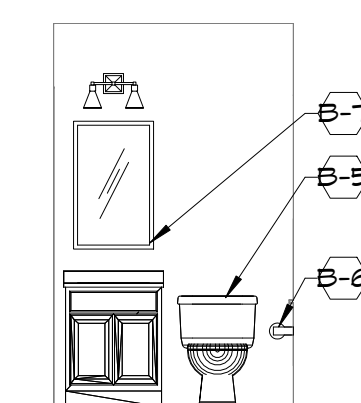
SD REVIEWER INITIALS	_____	DATE:	_____
DD REVIEWER INITIALS	_____	DATE:	_____
CD REVIEWER INITIALS	_____	DATE:	_____



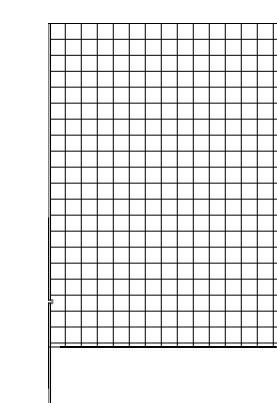
3
A-243 UNIT TYPE 3 - KITCHEN ELEV 1
 SCALE: 1/4" = 1'-0"



4
A-243 UNIT TYPE 3 - KITCHEN ELEV 2
 SCALE: 1/4" = 1'-0"



6
A-243 UNIT TYPE 3 - BATHROOM ELEV 1
 SCALE: 1/4" = 1'-0"



5
A-243 UNIT TYPE 3 - BATHROOM ELEV 2
 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 3

JOB NUMBER: 18204
 DRAWING NUMBER:

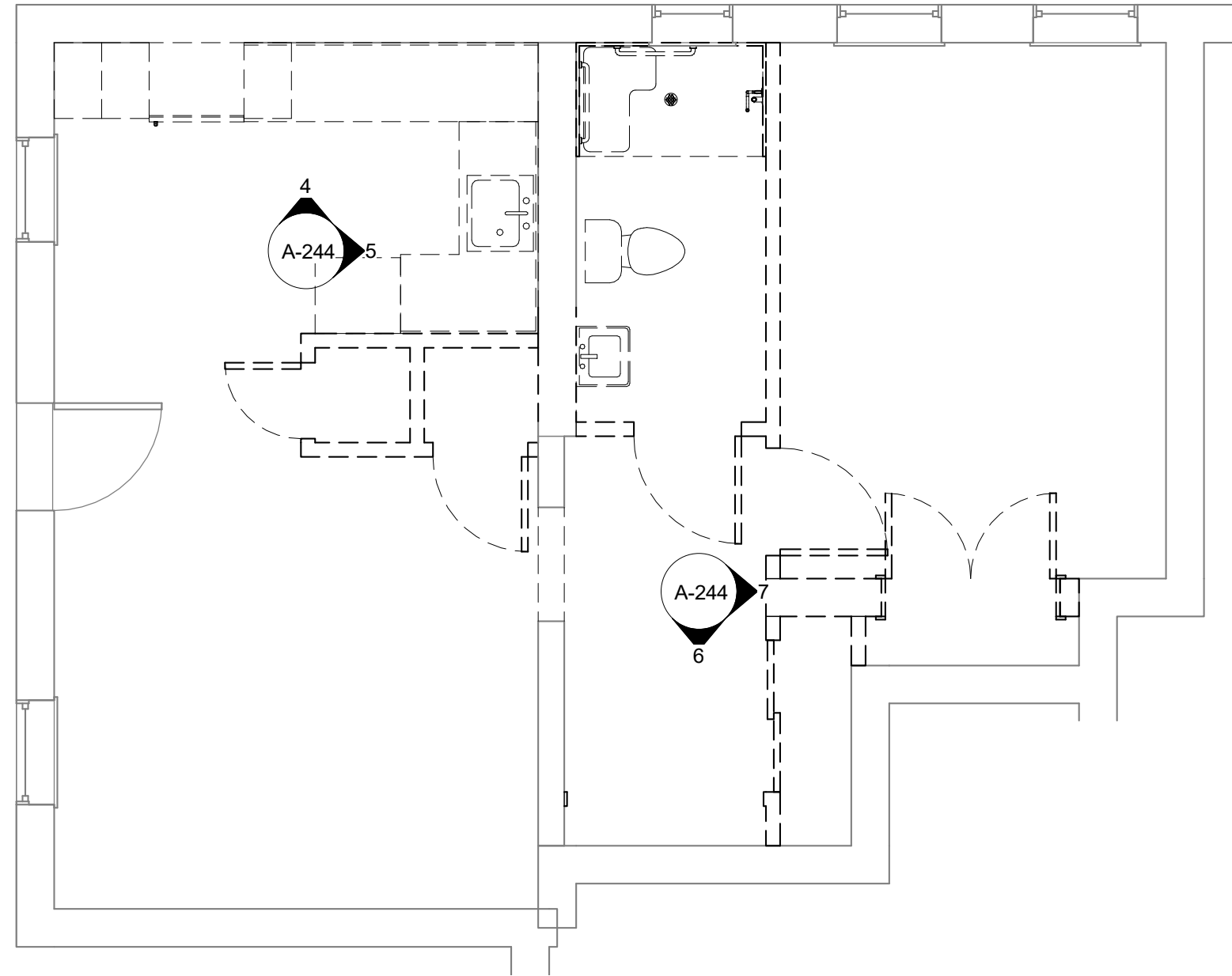
A-243

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES	
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-8	WALL MOUNT LAV. SINK, ON CONCEALED CARRIERS (PER VHDA) - COORDINATE WITH PLUMBING
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
P-90	NEW P.LAM APRON AT ACCESSIBLE SINK.

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
 - THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.
 -

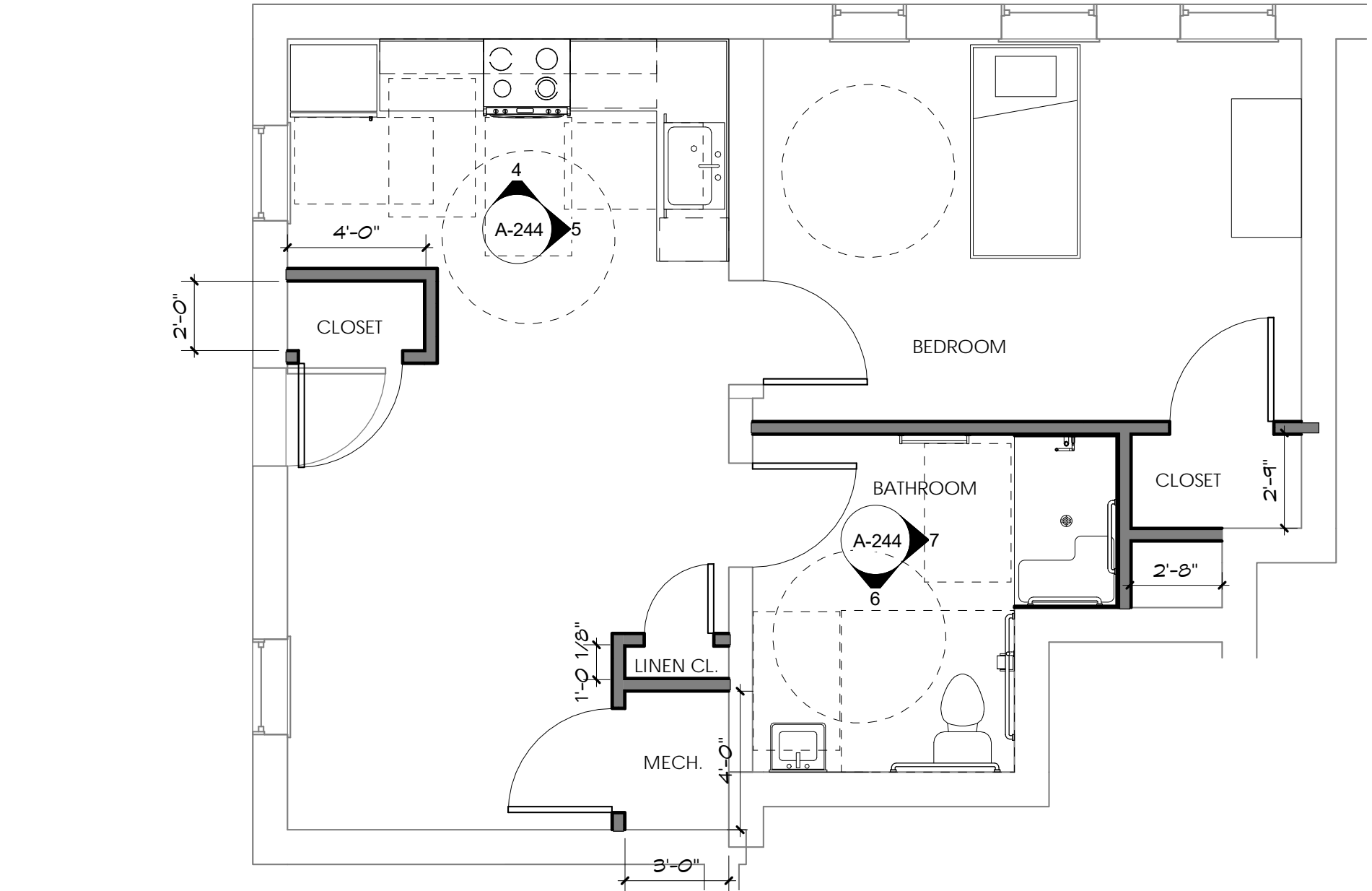
GENERAL NOTES: FLOOR PLANS



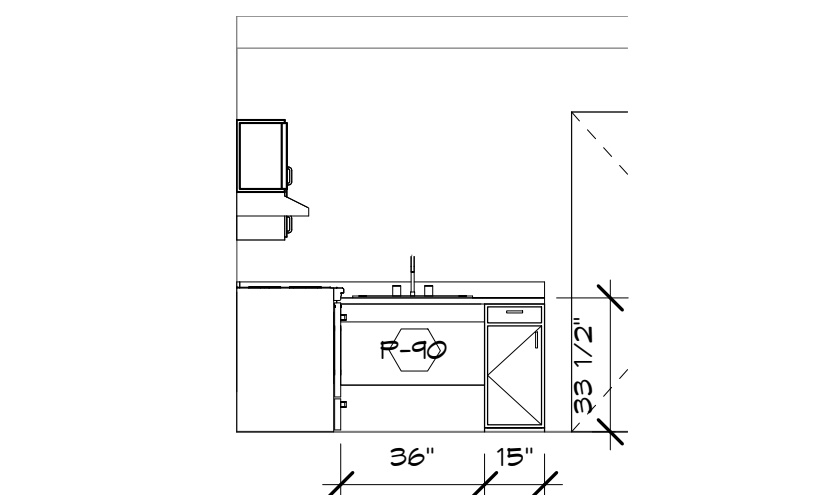
2 ENLARGED PLAN - UNIT TYPE 4 - DEMOLITION
A-244 SCALE: 1/4" = 1'-0"

- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
 - PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

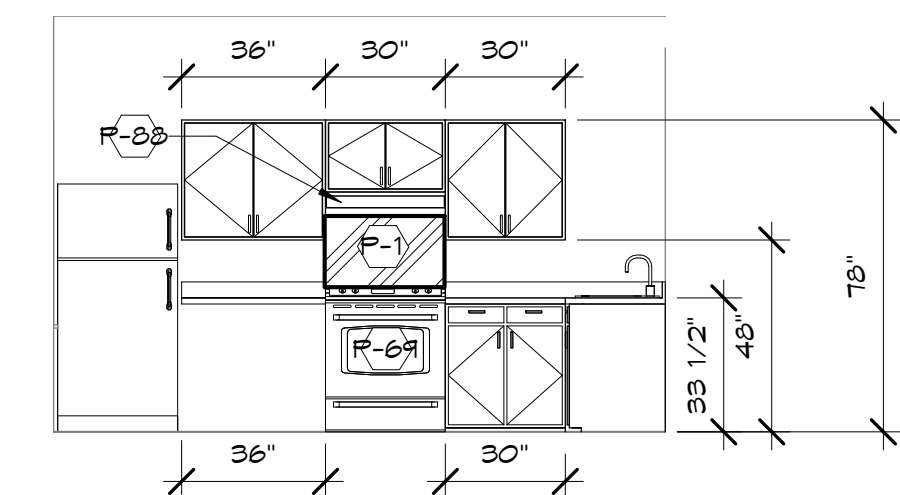
GENERAL NOTES: DEMOLITION



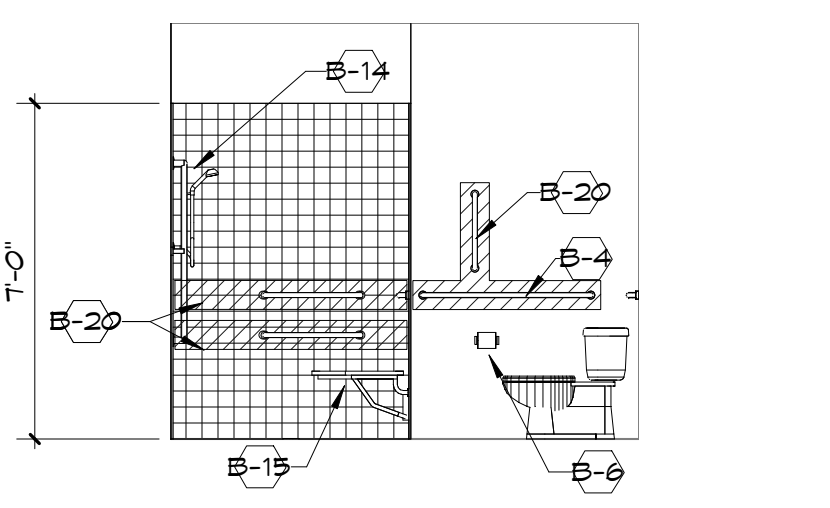
1 ENLARGED PLAN - UNIT TYPE 4 - NEW WORK
A-244 SCALE: 1/4" = 1'-0"



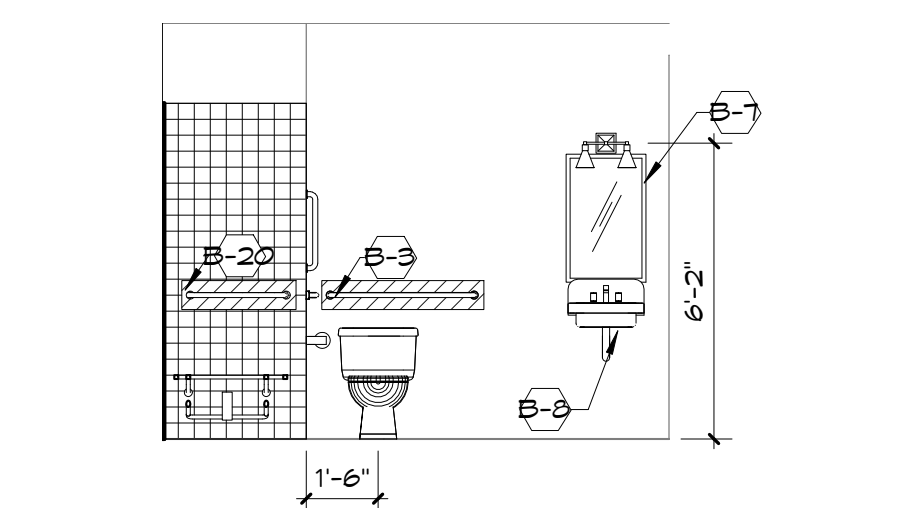
5 UNIT TYPE 4 - KITCHEN ELEV 1
A-244 SCALE: 1/4" = 1'-0"



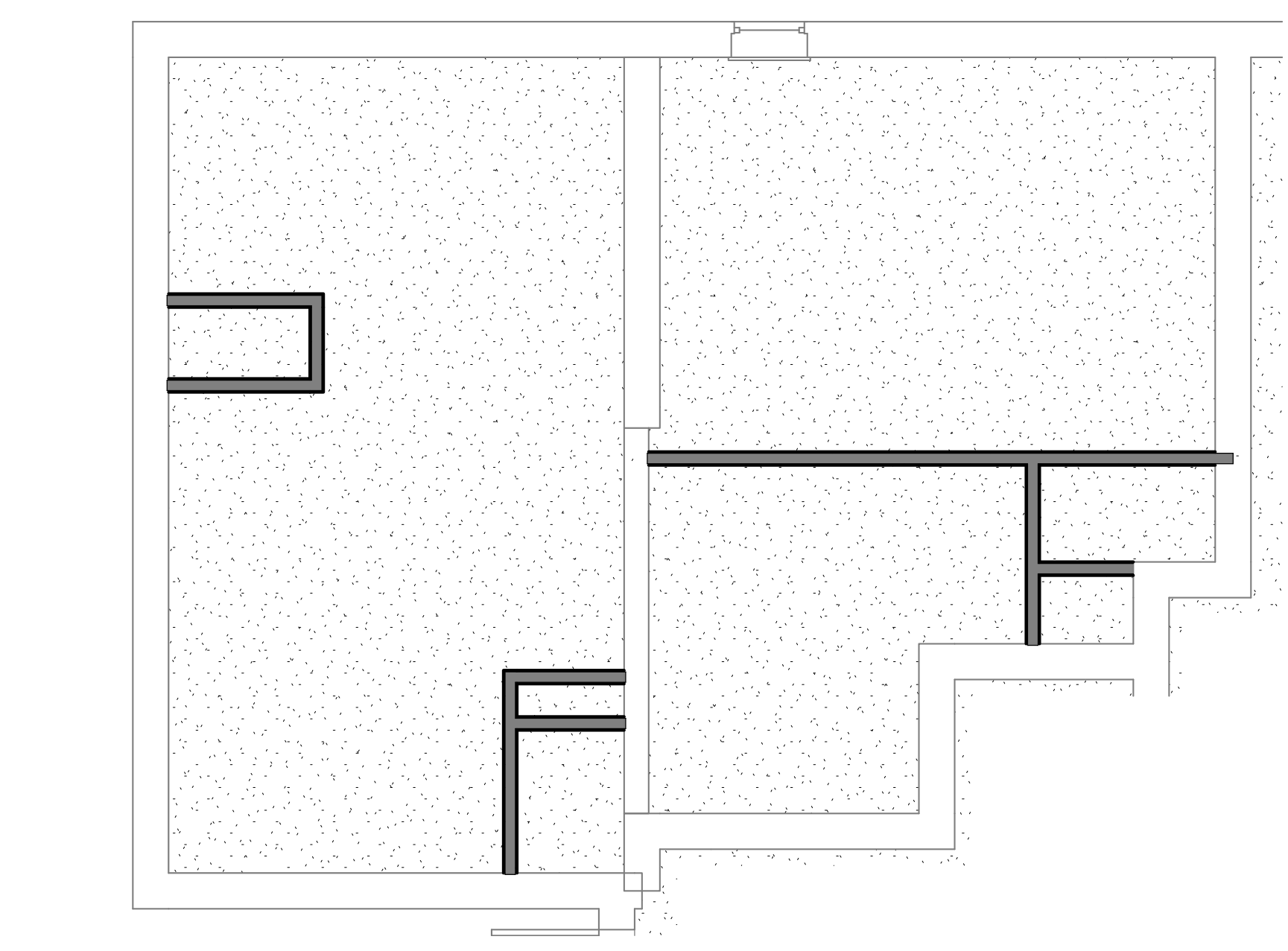
4 UNIT TYPE 4 - KITCHEN ELEV 2
A-244 SCALE: 1/4" = 1'-0"



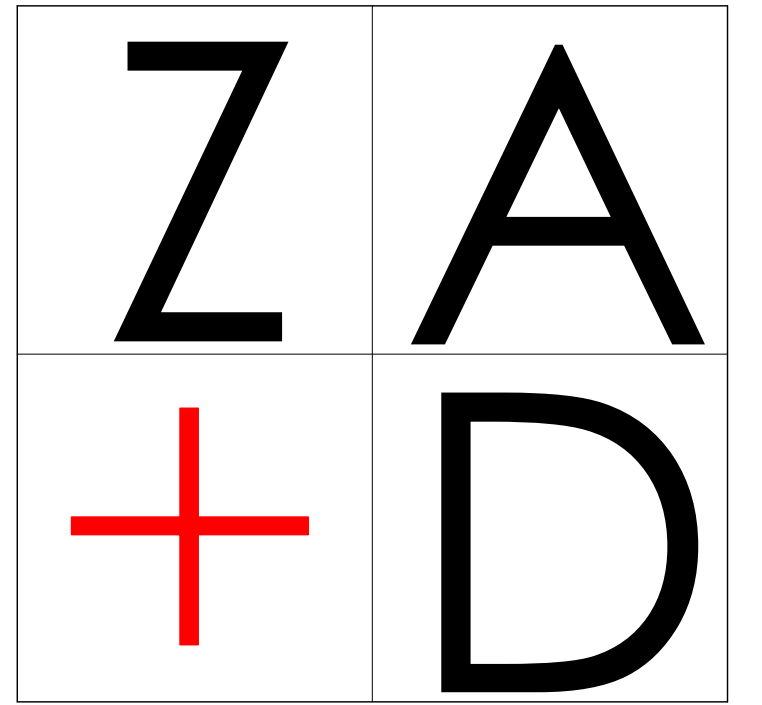
7 UNIT TYPE 4 - BATHROOM ELEV 1
A-244 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 4 - BATHROOM ELEV 2
A-244 SCALE: 1/4" = 1'-0"



3 ENLARGED PLAN - UNIT TYPE 4 - RCP
A-244 SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 4 ACC

JOB NUMBER: 18204
DRAWING NUMBER:

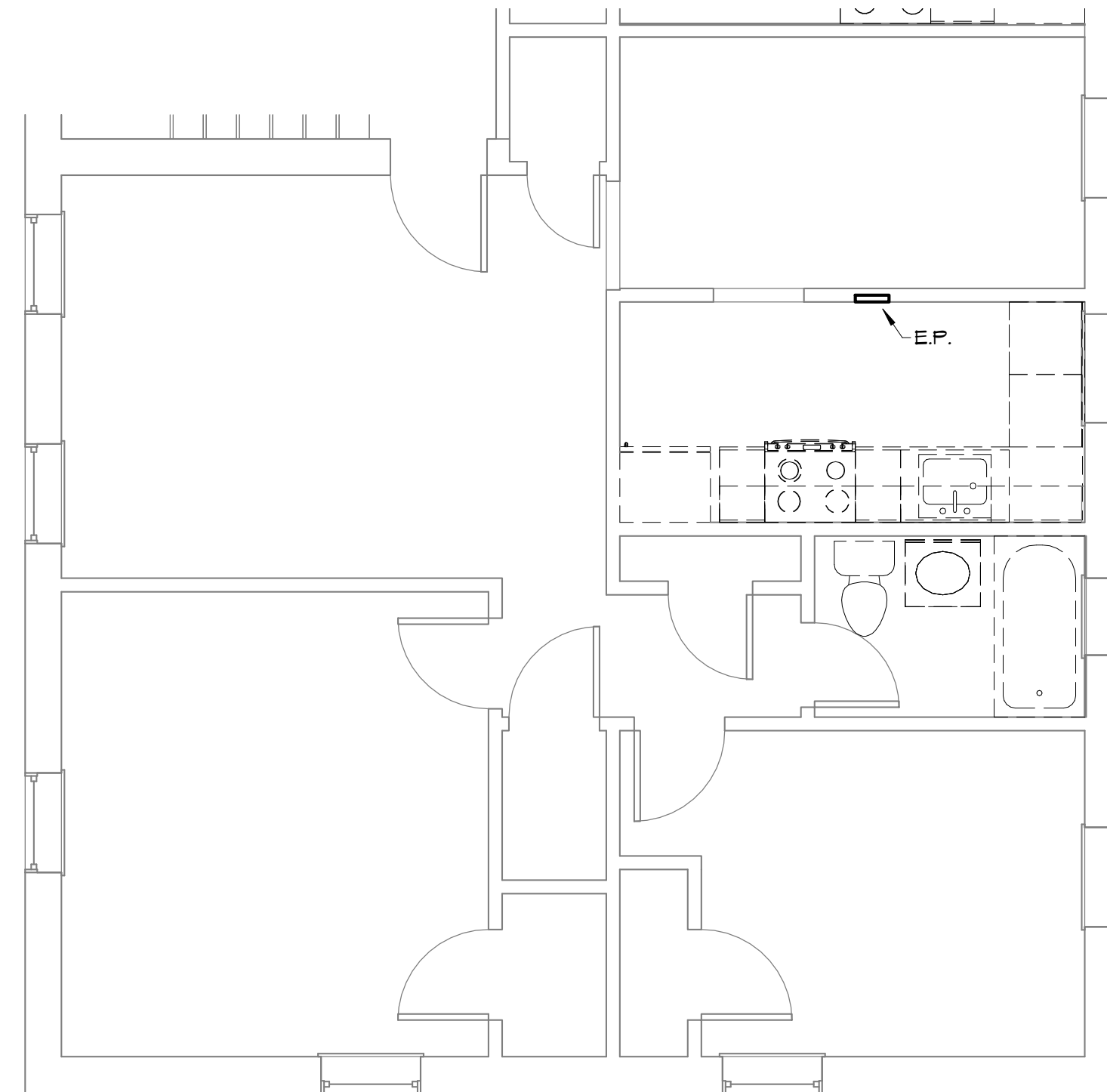
A-244

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

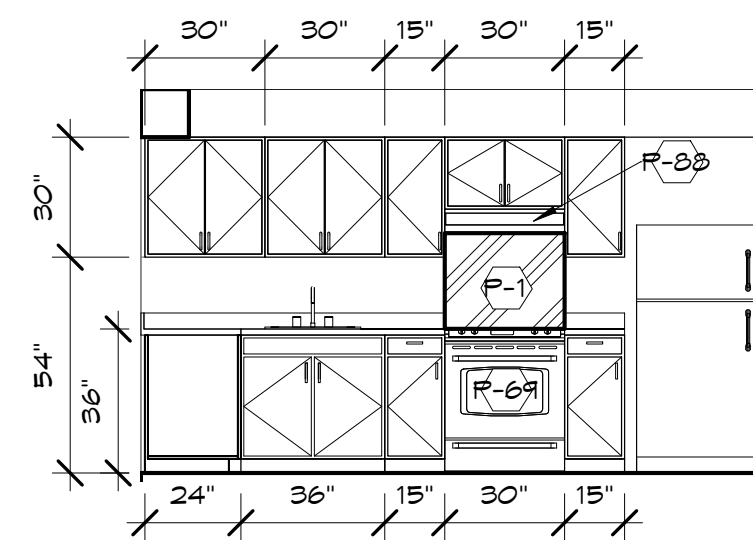
KEYED NOTES	
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL. U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

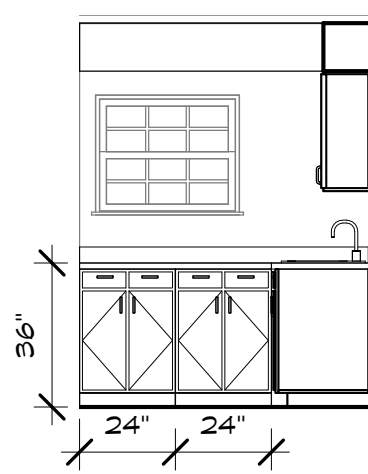
○ GENERAL NOTES: FLOOR PLANS



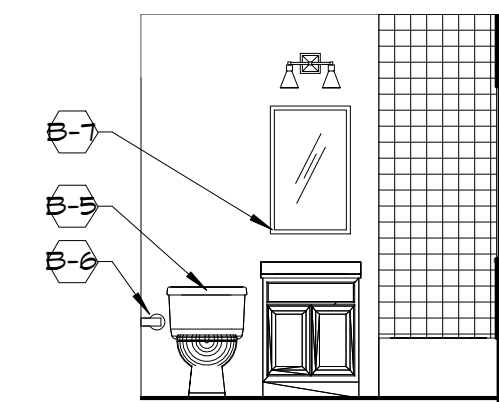
2 ENLARGED PLAN - UNIT TYPE 5 - DEMOLITION
A-245 SCALE: 1/4" = 1'-0"



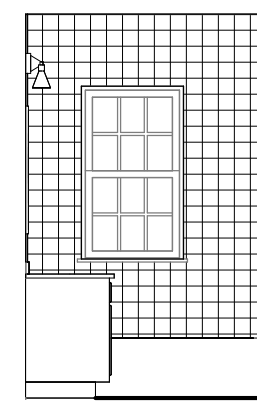
3 UNIT TYPE 5 - KITCHEN ELEV 1
A-245 SCALE: 1/4" = 1'-0"



4 UNIT TYPE 5 - KITCHEN ELEV 2
A-245 SCALE: 1/4" = 1'-0"



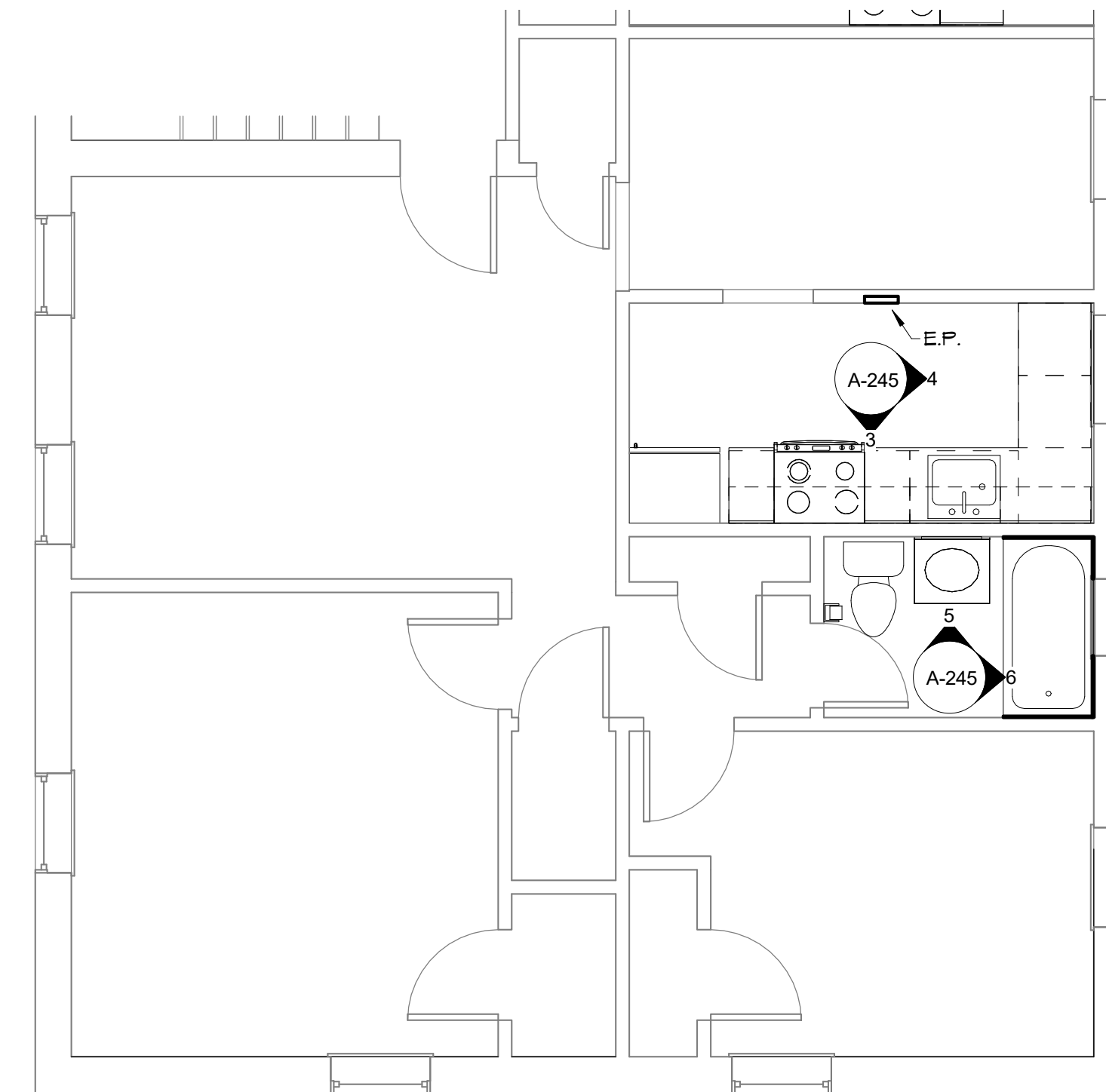
5 UNIT TYPE 5 - BATHROOM ELEV 1
A-245 SCALE: 1/4" = 1'-0"



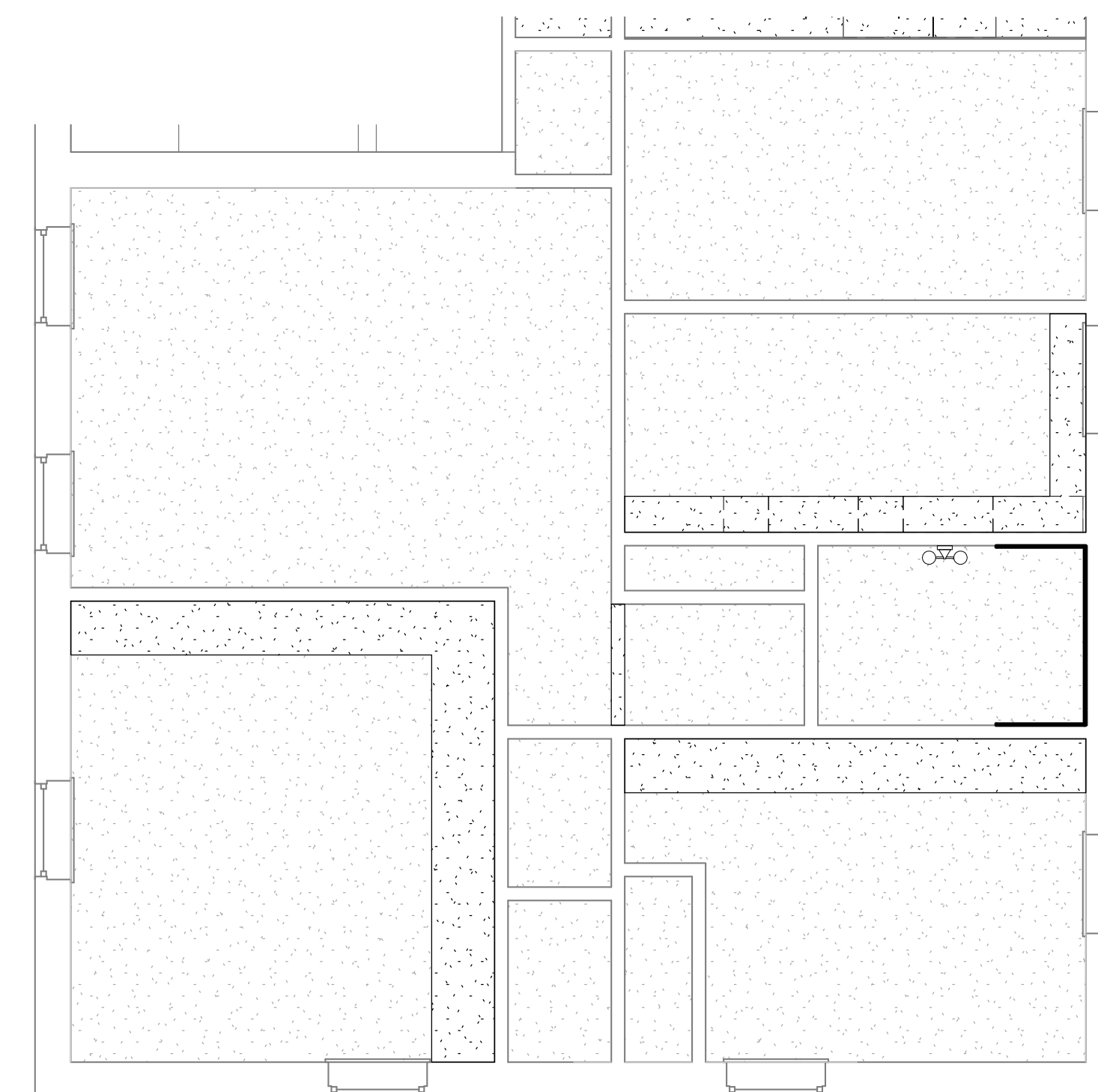
6 UNIT TYPE 5 - BATHROOM ELEV 2
A-245 SCALE: 1/4" = 1'-0"

- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

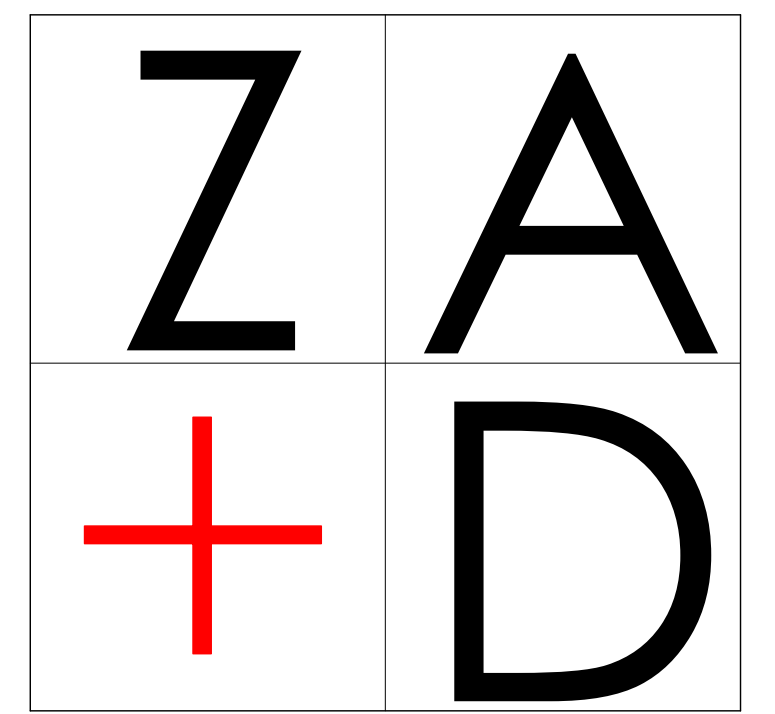
○ GENERAL NOTES: DEMOLITION



1 ENLARGED PLAN - UNIT TYPE 5 - NEW WORK
A-245 SCALE: 1/4" = 1'-0"



7 ENLARGED PLAN - UNIT TYPE 5 - RCP
A-245 SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW
SD REVIEWER INITIALS _____ DATE: _____
DD REVIEWER INITIALS _____ DATE: _____
CD REVIEWER INITIALS _____ DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 5

JOB NUMBER: 18204
DRAWING NUMBER:

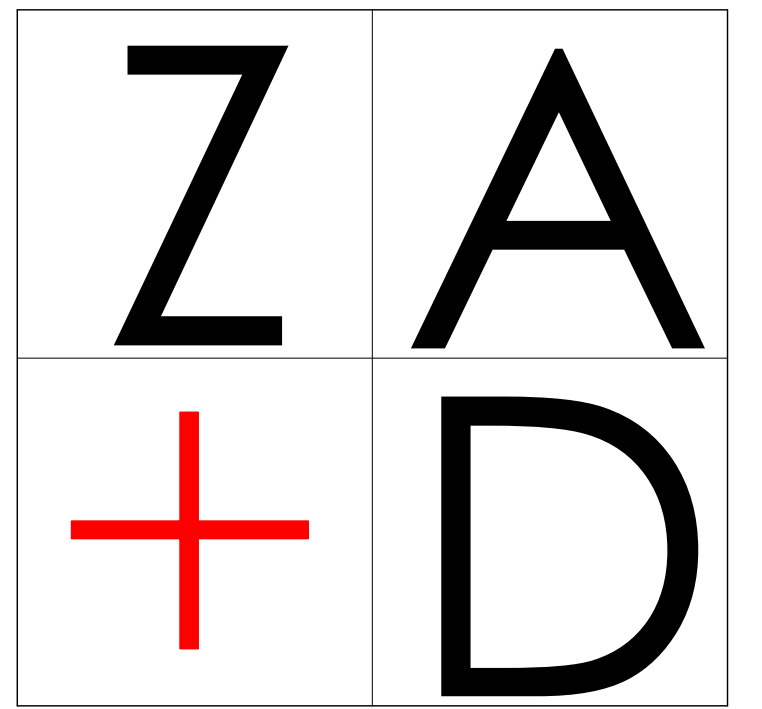
A-245

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES	
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2828 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

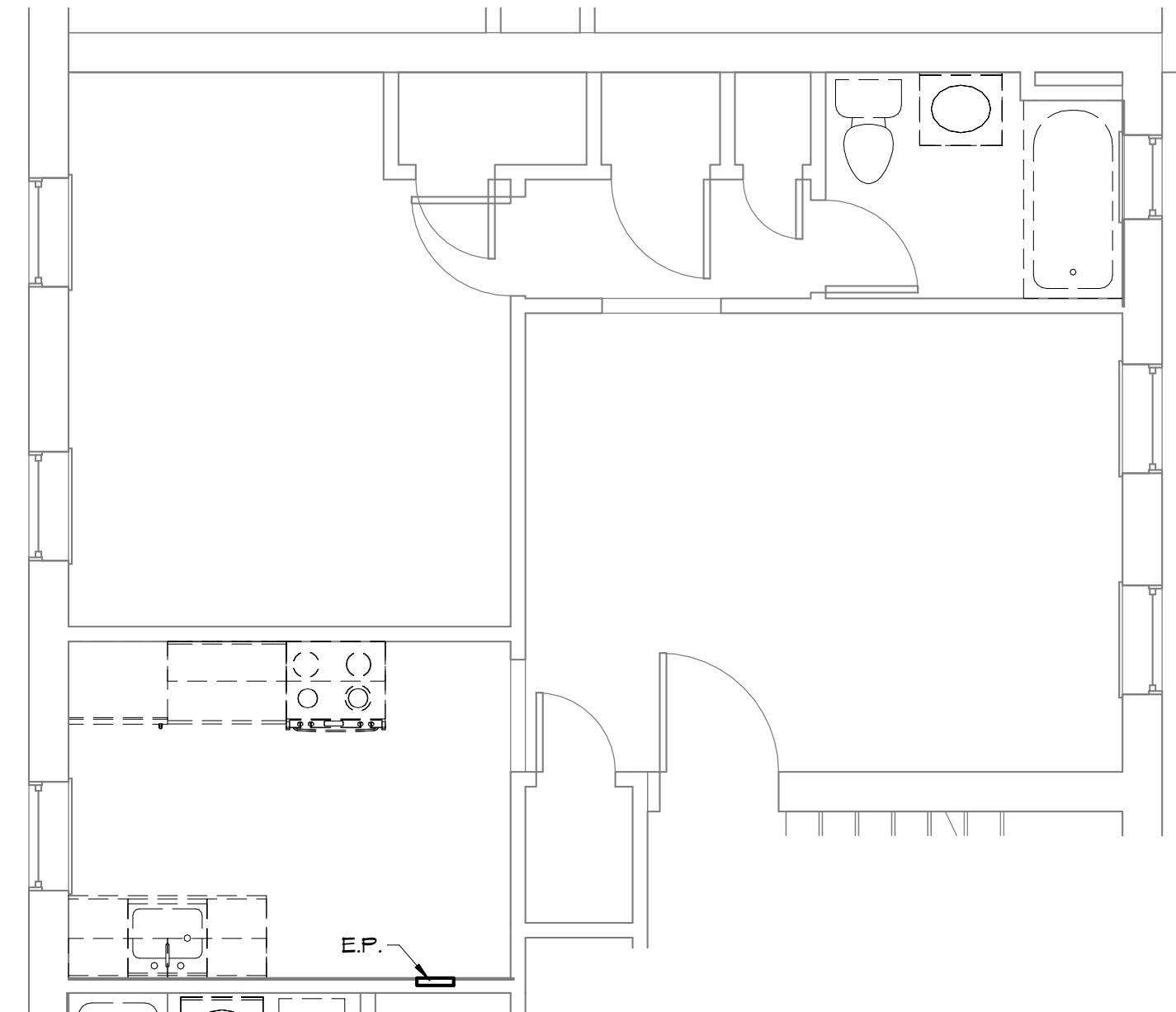


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

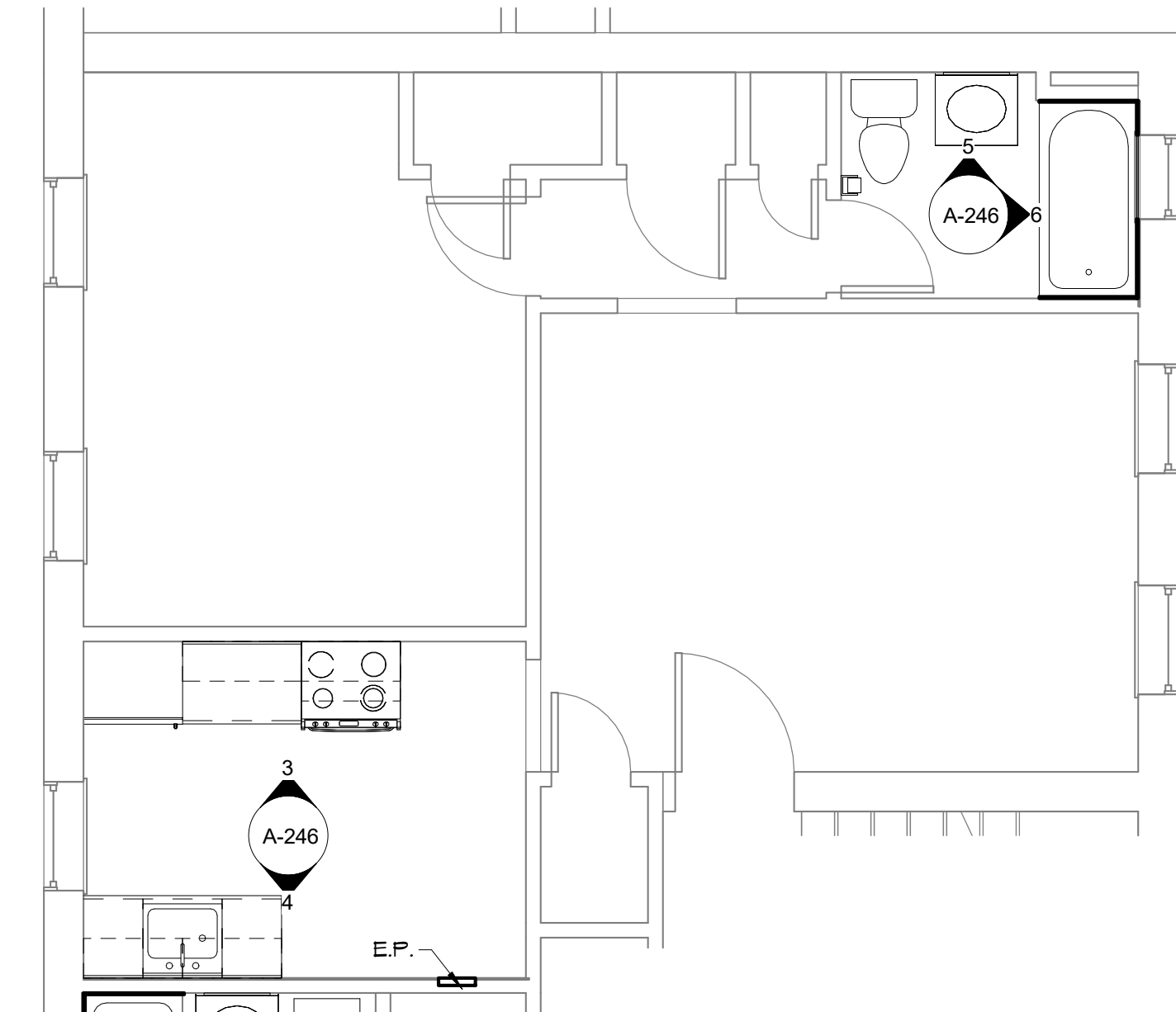
PRINTS ISSUED		
NO.	DESCRIPTION	DATE

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION



2 ENLARGED PLAN - UNIT TYPE 6 - DEMOLITION
 A-246 SCALE: 1/4" = 1'-0"



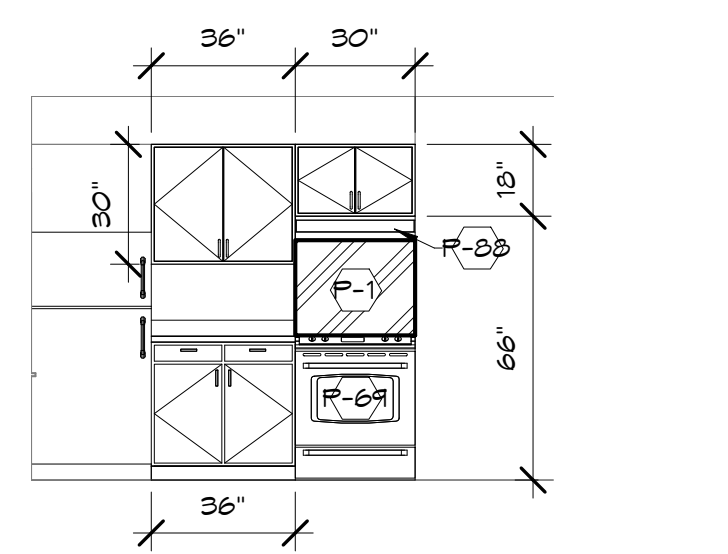
1 ENLARGED PLAN - UNIT TYPE 6 - NEW WORK
 A-246 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

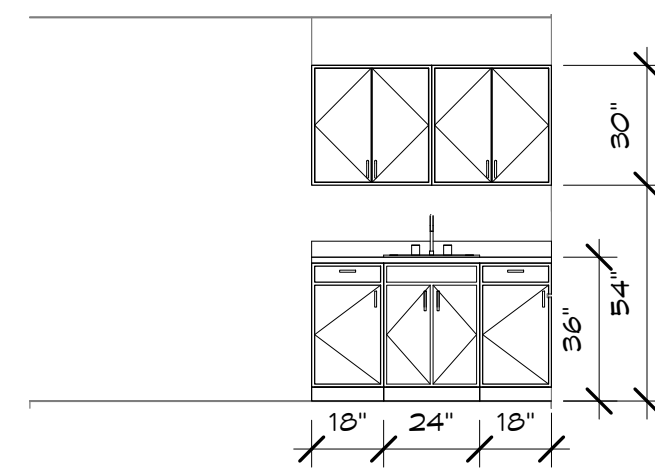
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

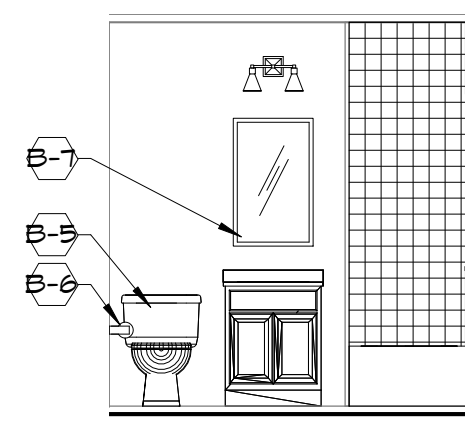
SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE



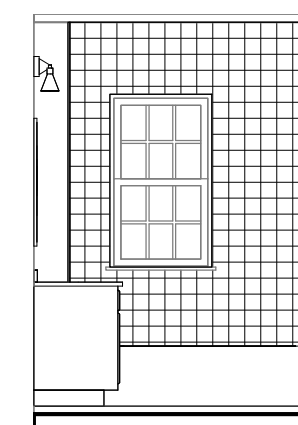
3 UNIT TYPE 6 - KITCHEN ELEV 1
 A-246 SCALE: 1/4" = 1'-0"



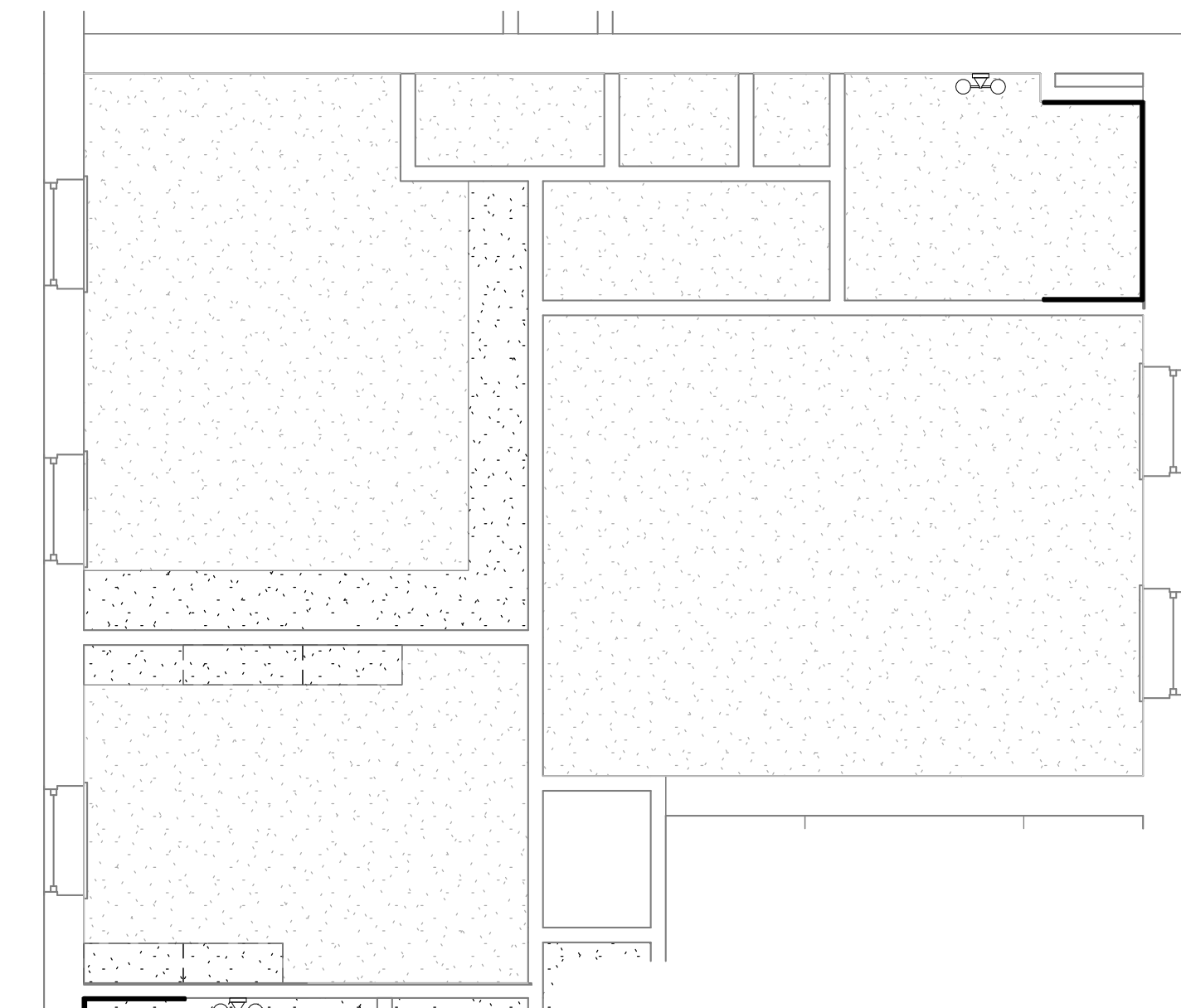
4 UNIT TYPE 6 - KITCHEN ELEV 2
 A-246 SCALE: 1/4" = 1'-0"



5 UNIT TYPE 6 - BATHROOM ELEV 1
 A-246 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 6 - BATHROOM ELEV 2
 A-246 SCALE: 1/4" = 1'-0"



7 ENLARGED PLAN - UNIT TYPE 6 - RCP
 A-246 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 6

JOB NUMBER: 18204
 DRAWING NUMBER:

A-246

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com

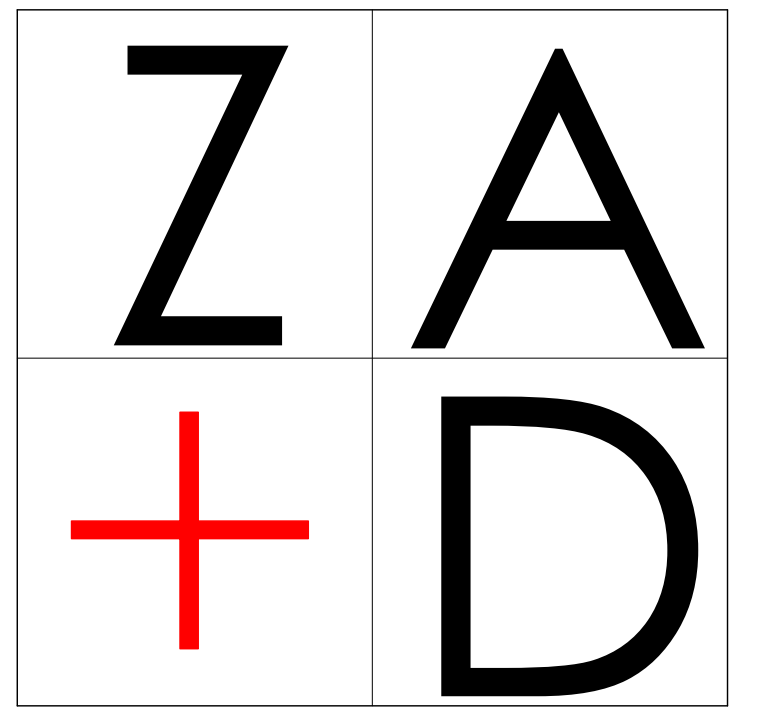
KEYED NOTES	
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2088 - DOUBLE ROLL
B-7	18"X30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

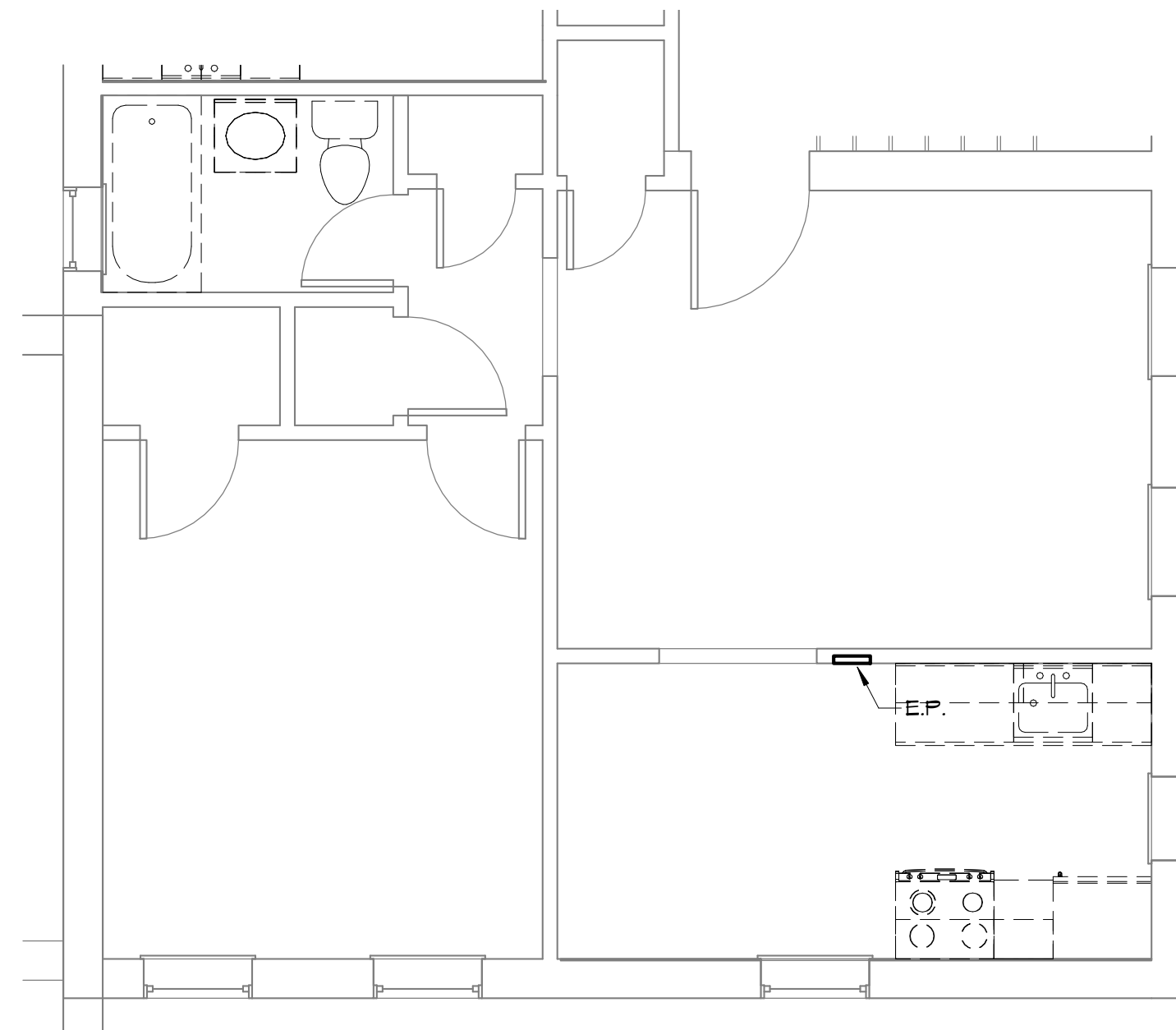
- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
 - PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

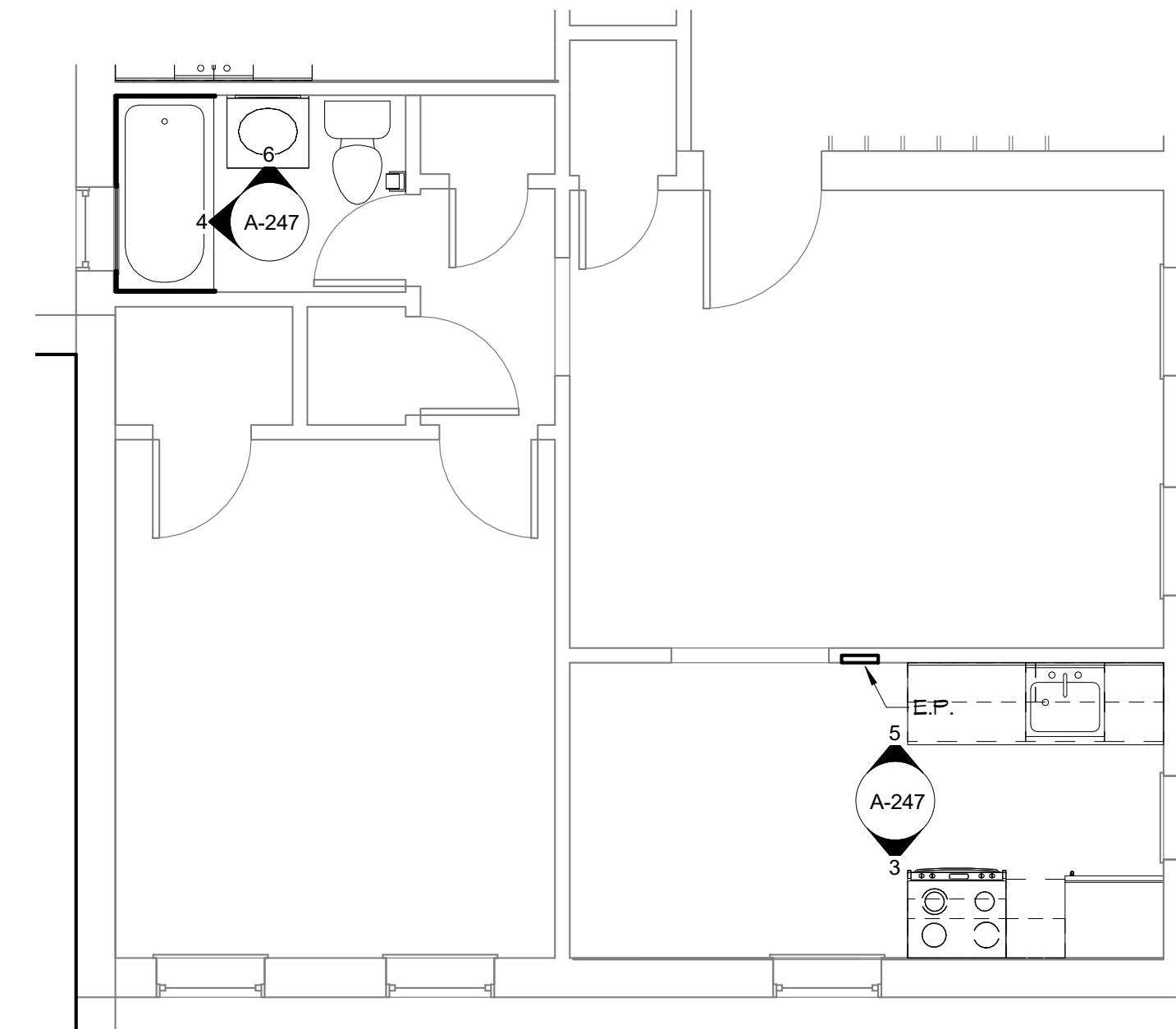


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



2 ENLARGED PLAN - UNIT TYPE 7 - DEMOLITION
 SCALE: 1/4" = 1'-0"



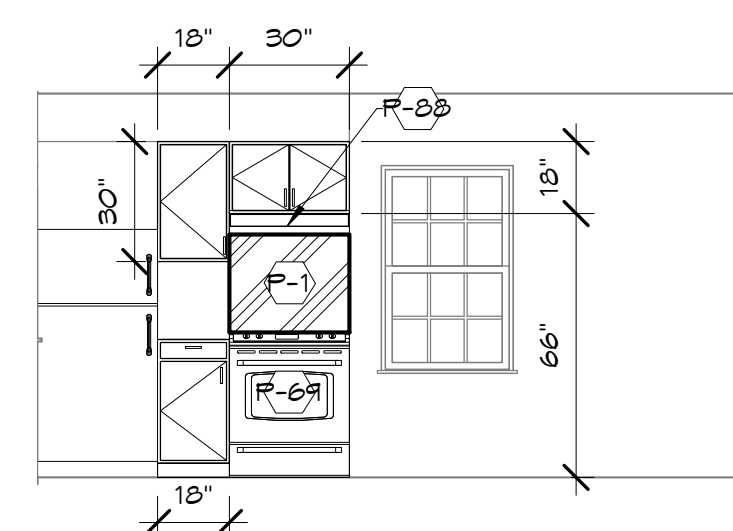
1 ENLARGED PLAN - UNIT TYPE 7 - NEW WORK
 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

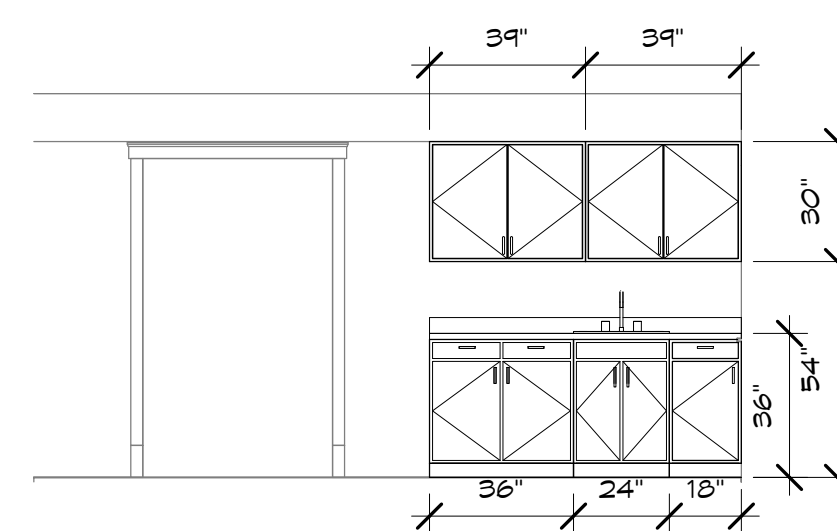
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

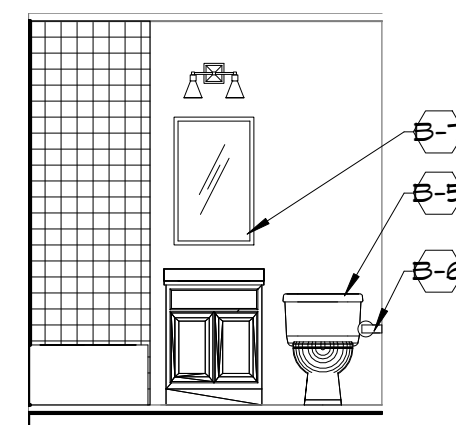
SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE



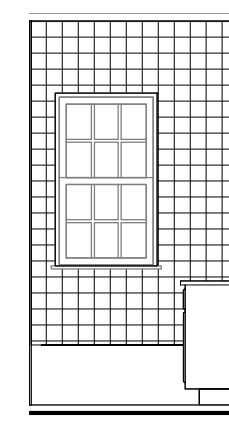
3 UNIT TYPE 7 - KITCHEN ELEV 1
 SCALE: 1/4" = 1'-0"



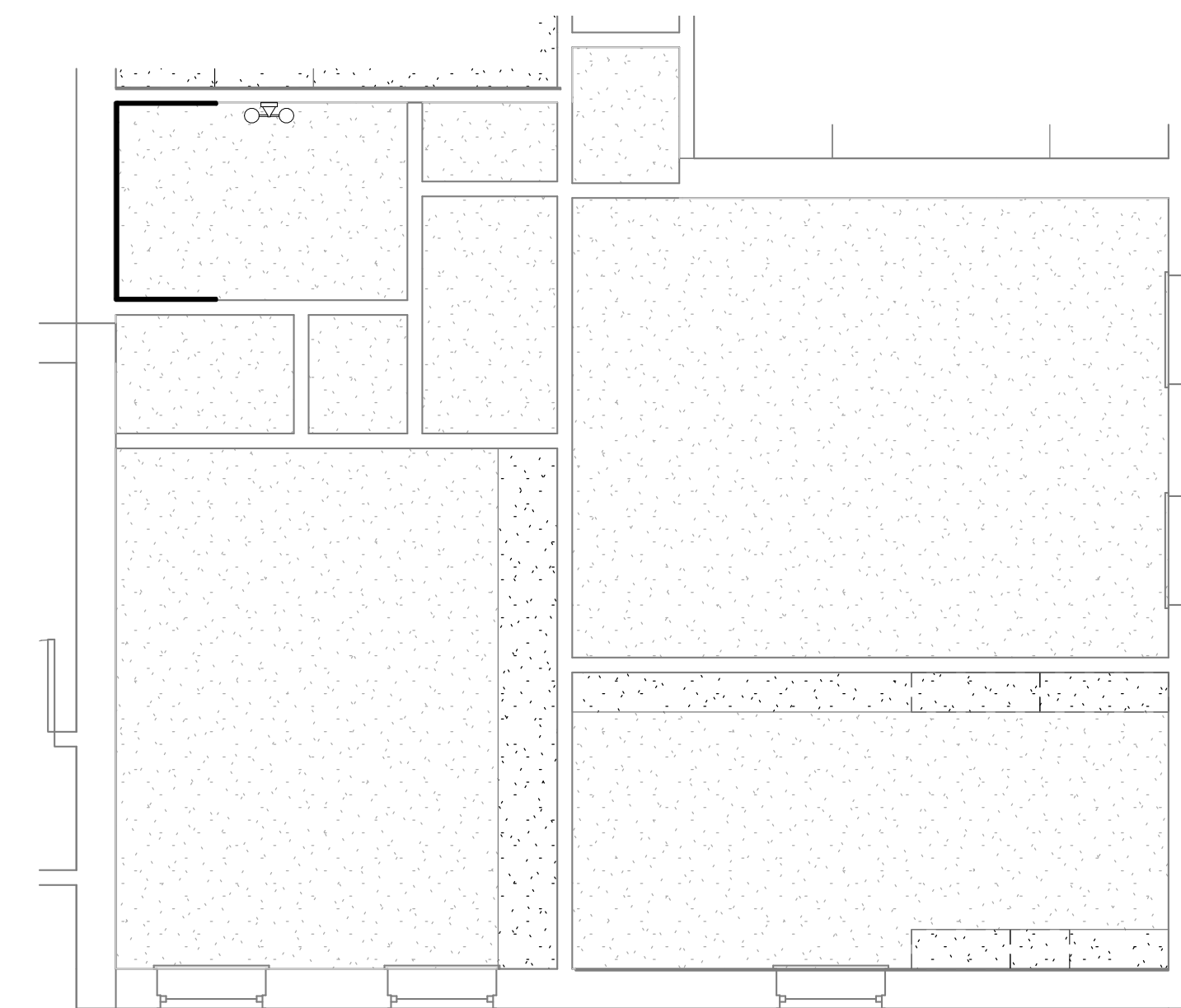
5 UNIT TYPE 7 - KITCHEN ELEV 2
 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 7 - BATHROOM ELEV 1
 SCALE: 1/4" = 1'-0"



4 UNIT TYPE 7 - BATHROOM ELEV 2
 SCALE: 1/4" = 1'-0"



7 ENLARGED PLAN - UNIT TYPE 7 - RCP
 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 7

JOB NUMBER: 18204
 DRAWING NUMBER:

A-247

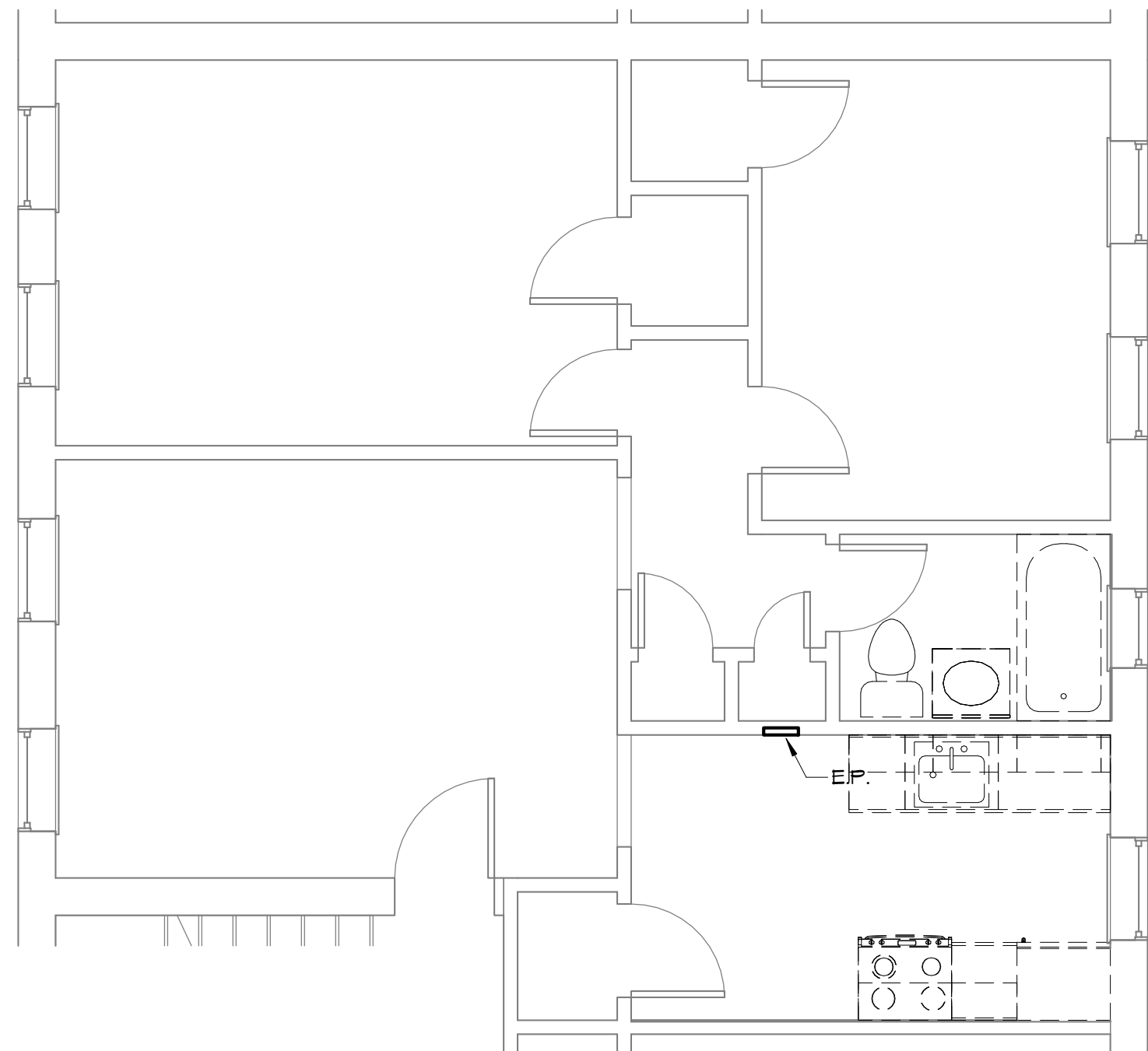
323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES

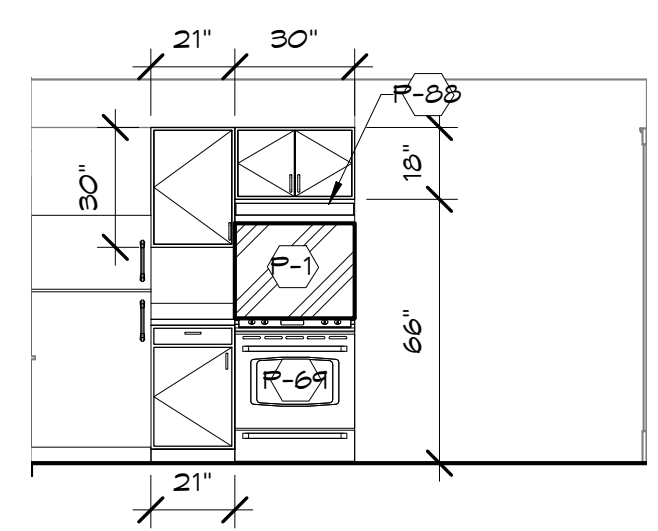
B-5	TOILET - COORDINATE WITH PLUMBING
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
P-1	PROVIDE STAINLESS STEEL BACKSLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

- GENERAL NOTES- FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
 - THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
 - DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

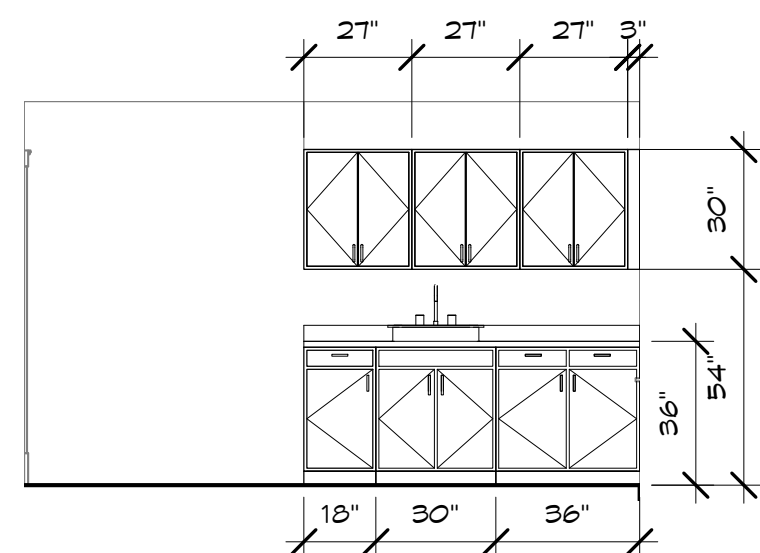
GENERAL NOTES: FLOOR PLANS



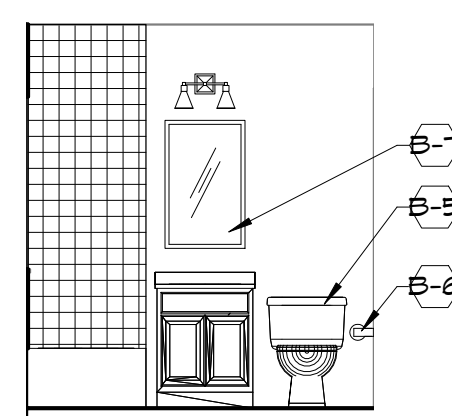
2 ENLARGED PLAN - UNIT TYPE 8 - DEMOLITION
A-248 SCALE: 1/4" = 1'-0"



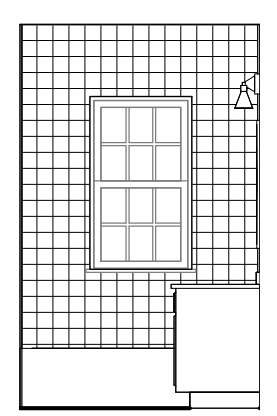
3 UNIT TYPE 8 - KITCHEN ELEV 1
A-248 SCALE: 1/4" = 1'-0"



4 UNIT TYPE 8 - KITCHEN ELEV 2
A-248 SCALE: 1/4" = 1'-0"



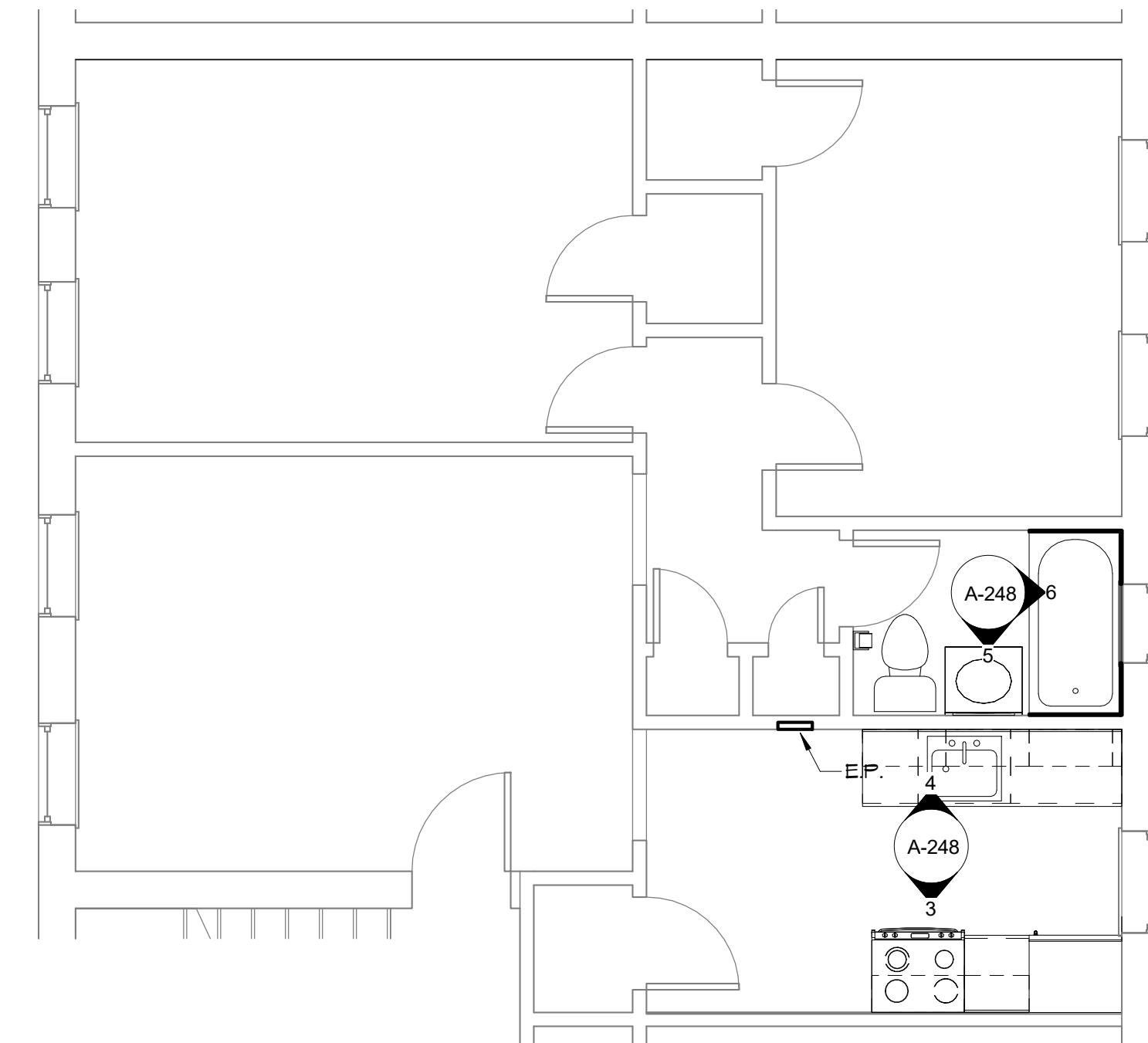
5 UNIT TYPE 8 - BATHROOM ELEV 1
A-248 SCALE: 1/4" = 1'-0"



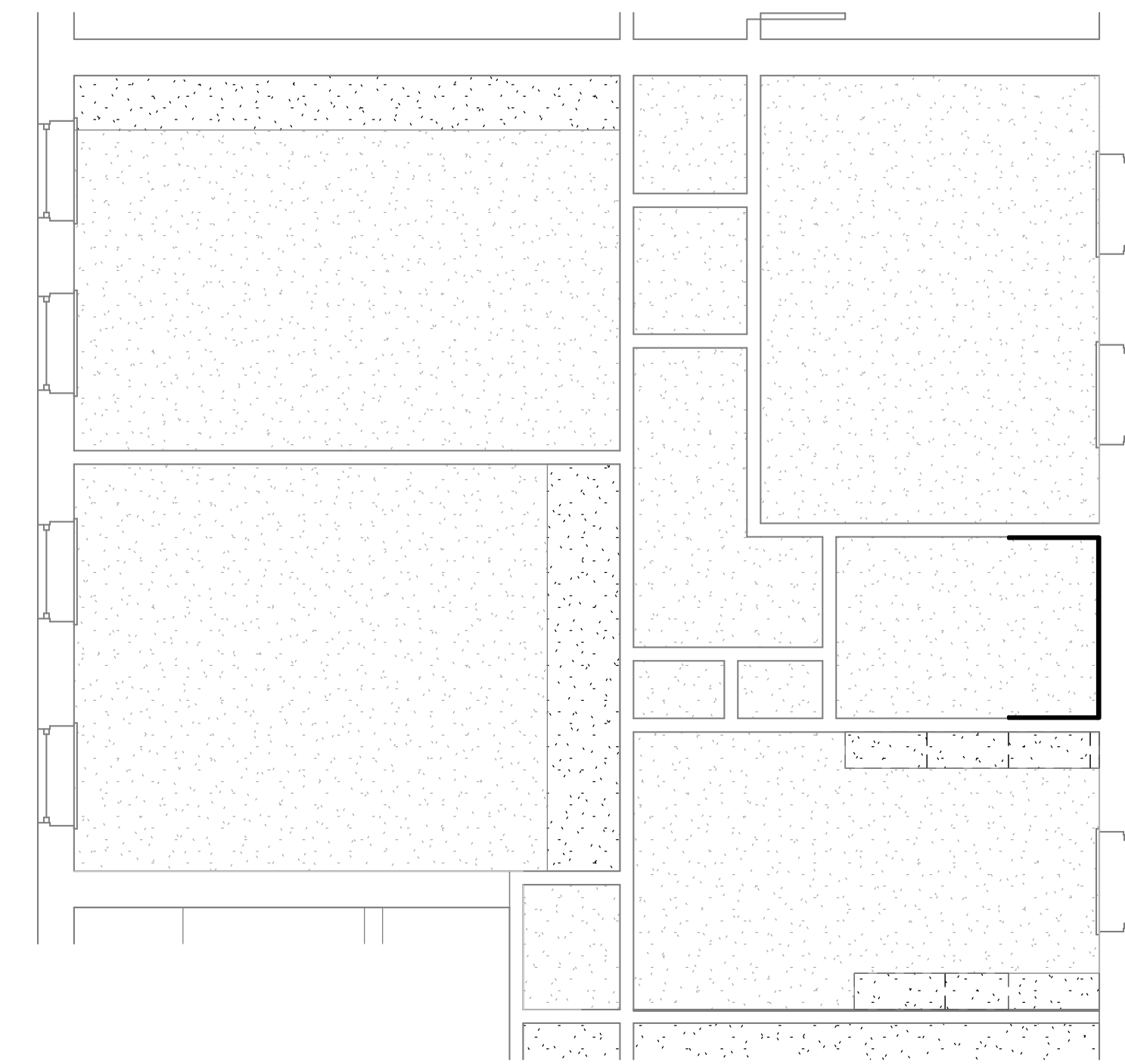
6 UNIT TYPE 8 - BATHROOM ELEV 2
A-248 SCALE: 1/4" = 1'-0"

- GENERAL NOTES- DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
 - PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

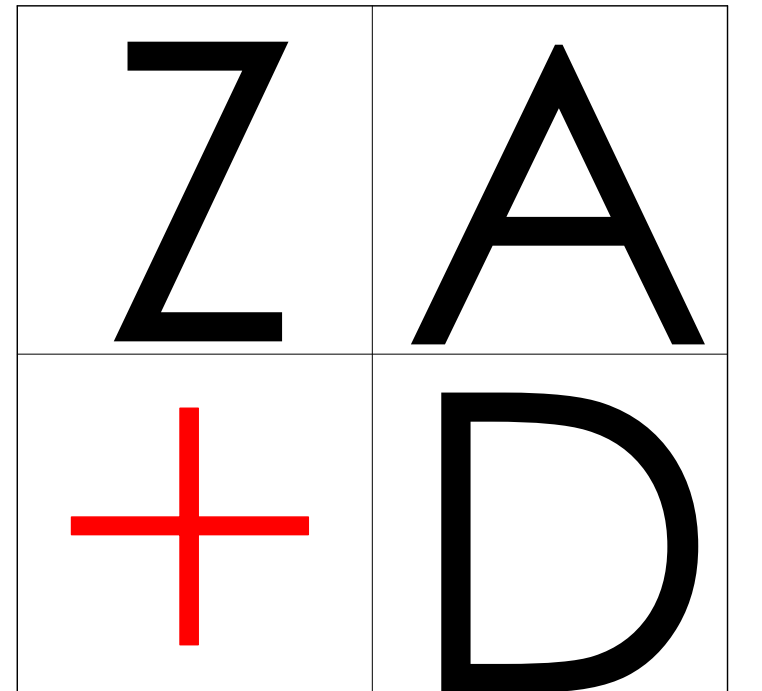
GENERAL NOTES: DEMOLITION



1 ENLARGED PLAN - UNIT TYPE 8 - NEW WORK
A-248 SCALE: 1/4" = 1'-0"



7 ENLARGED PLAN - UNIT TYPE 8 - RCP
A-248 SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW
SD REVIEWER INITIALS _____ DATE: _____
DD REVIEWER INITIALS _____ DATE: _____
CD REVIEWER INITIALS _____ DATE: _____

WHITEFIELD COMMONS

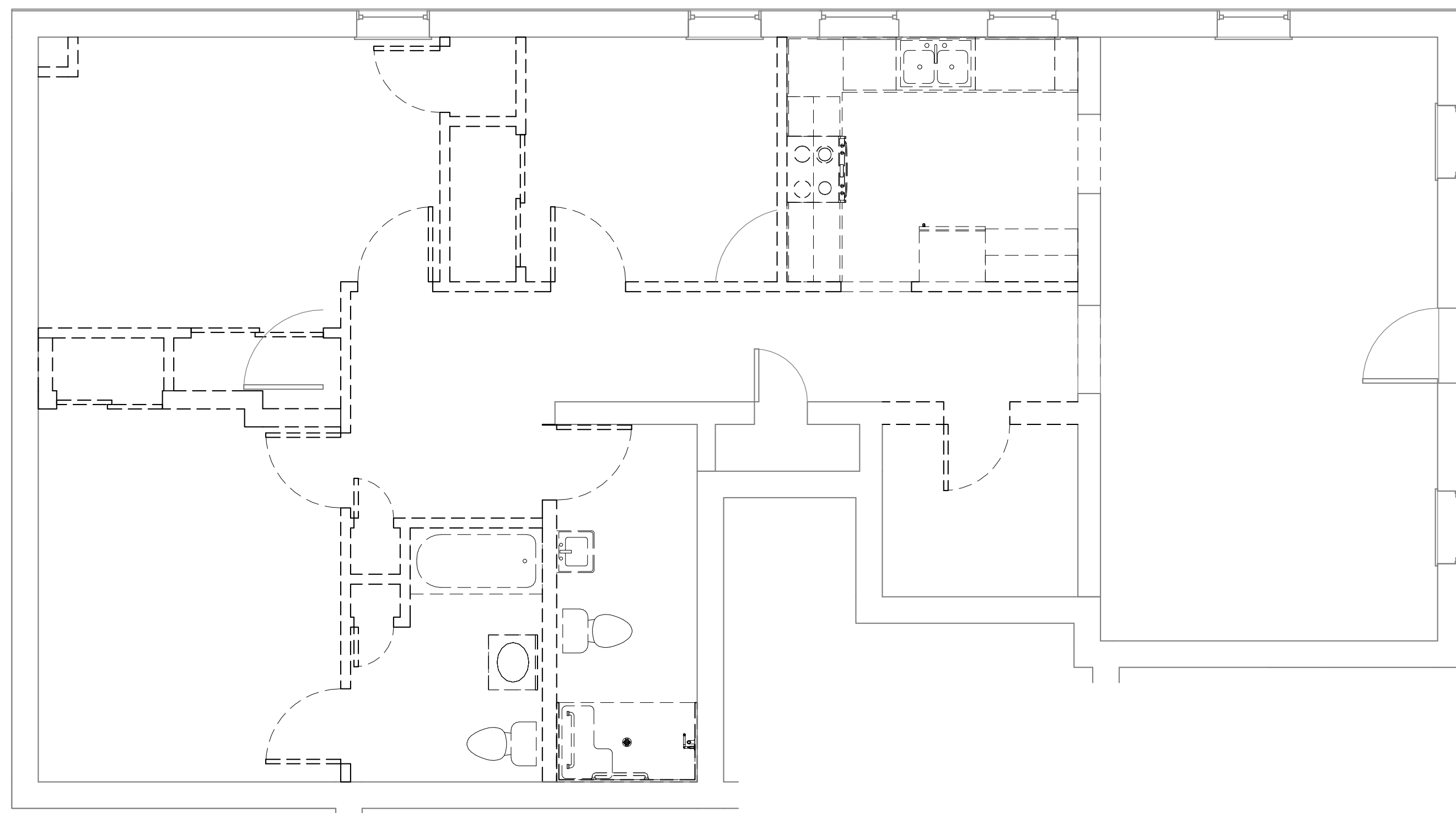
PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 8

JOB NUMBER: 18204
DRAWING NUMBER:

A-248

323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



GENERAL NOTES: DEMOLITION

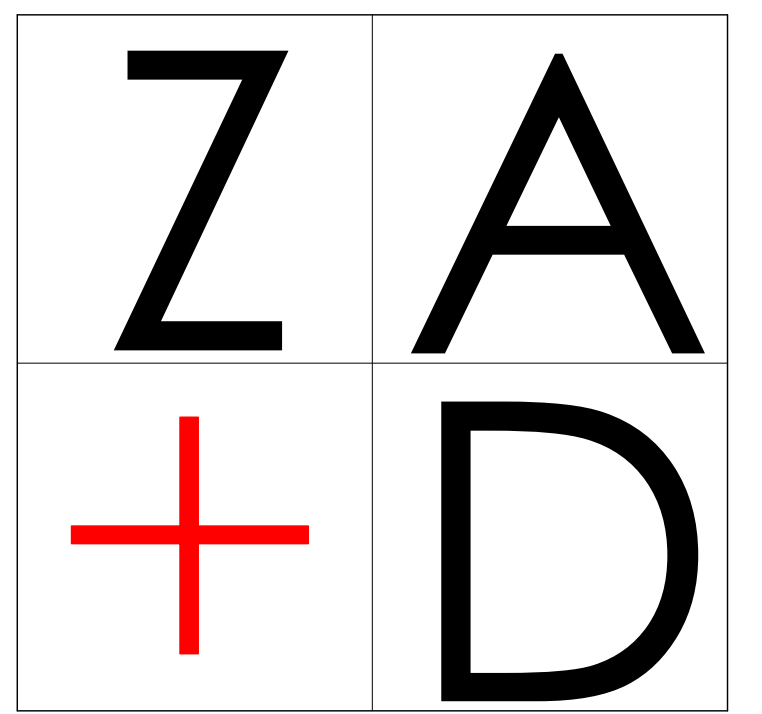
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

GENERAL NOTES: FLOOR PLANS

- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

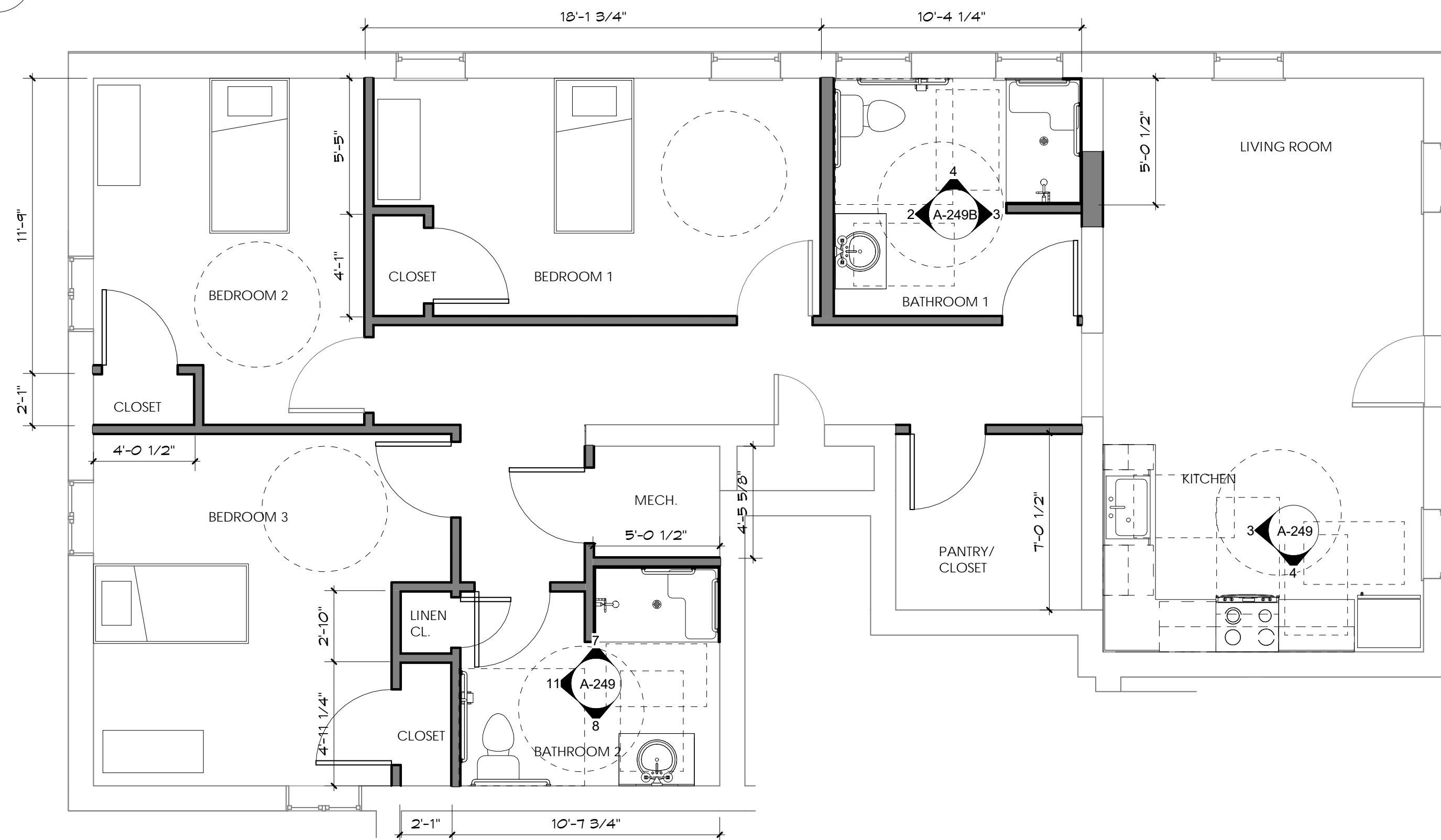


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

1 ENLARGED PLAN - UNIT TYPE 9 - DEMOLITION

A-249 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - UNIT TYPE 9A - NEW WORK

A-249 SCALE: 1/4" = 1'-0"

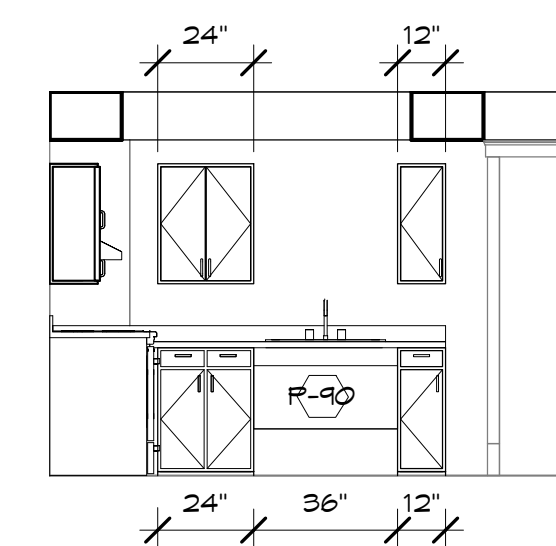
KEYED NOTES

B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
P-90	NEW P.LAM APRON AT ACCESSIBLE SINK.

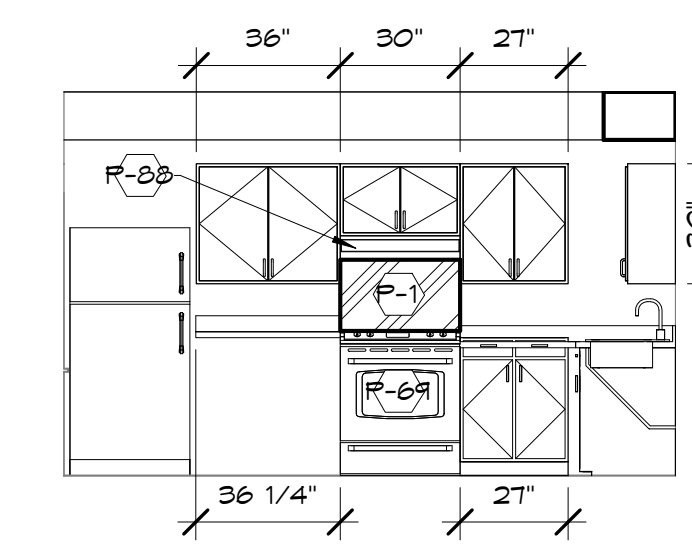
ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

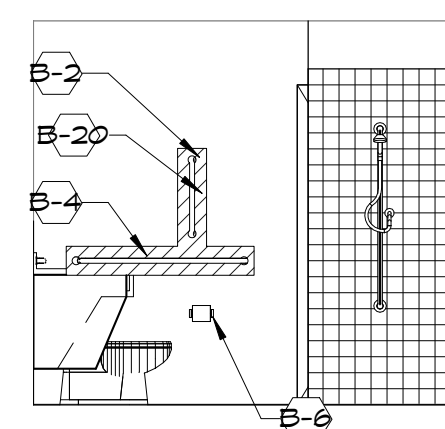
QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS	DATE: _____
DD REVIEWER INITIALS	DATE: _____
CD REVIEWER INITIALS	DATE: _____



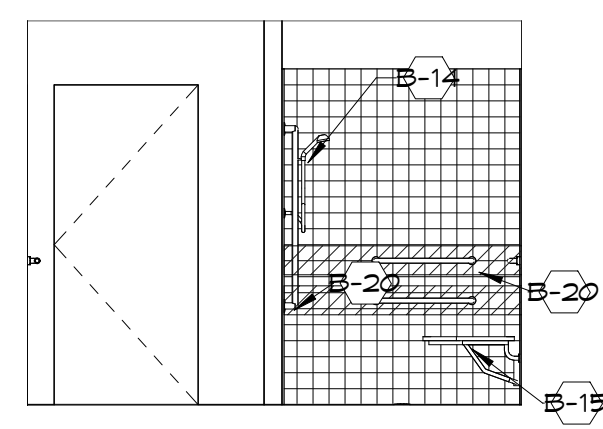
3 UNIT TYPE 9 - KITCHEN ELEV 1
 A-249 SCALE: 1/4" = 1'-0"



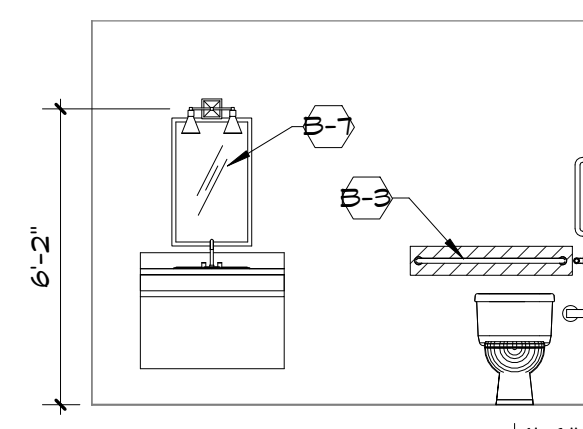
4 UNIT TYPE 9 - KITCHEN ELEV 2
 A-249 SCALE: 1/4" = 1'-0"



11 UNIT TYPE 9 - BR 1 ELEV 3
 A-249 SCALE: 1/4" = 1'-0"



7 UNIT TYPE 9 - BR 1 ELEV 1
 A-249 SCALE: 1/4" = 1'-0"



8 UNIT TYPE 9 - BR 1 ELEV 2
 A-249 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 9 ACC

JOB NUMBER: 18204
 DRAWING NUMBER:

A-249

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com

KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"X30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.

GENERAL NOTES: REFLECTED CEILING PLAN

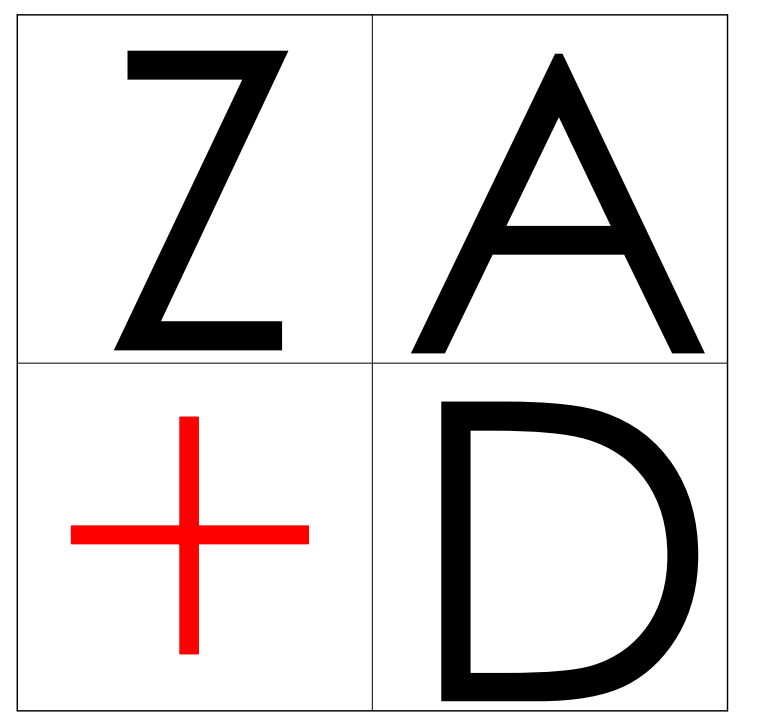
NEW CONSTRUCTION/FIT OUT:

1. ALL LAY-IN CEILING TILE AND ASSOCIATED GRID TO BE EQUALLY SPACED IN ROOM, U.O.N. WHEN POSSIBLE, AVOID USING TILES LESS THAN 4" IN ANY DIRECTION.
2. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM, W/ 1/2" GYP. BD. (5/8" TYPE 'X' AT RATED ASSEMBLIES).
3. DIMENSIONS ARE CALCULATED FROM FACE OF CORE TO FACE OF CORE, U.O.N.
4. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
6. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
7. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
8. COORDINATE EXISTING SPRINKLER HEADS WITH NEW CEILING SYSTEM

REHAB/RENOVATION:

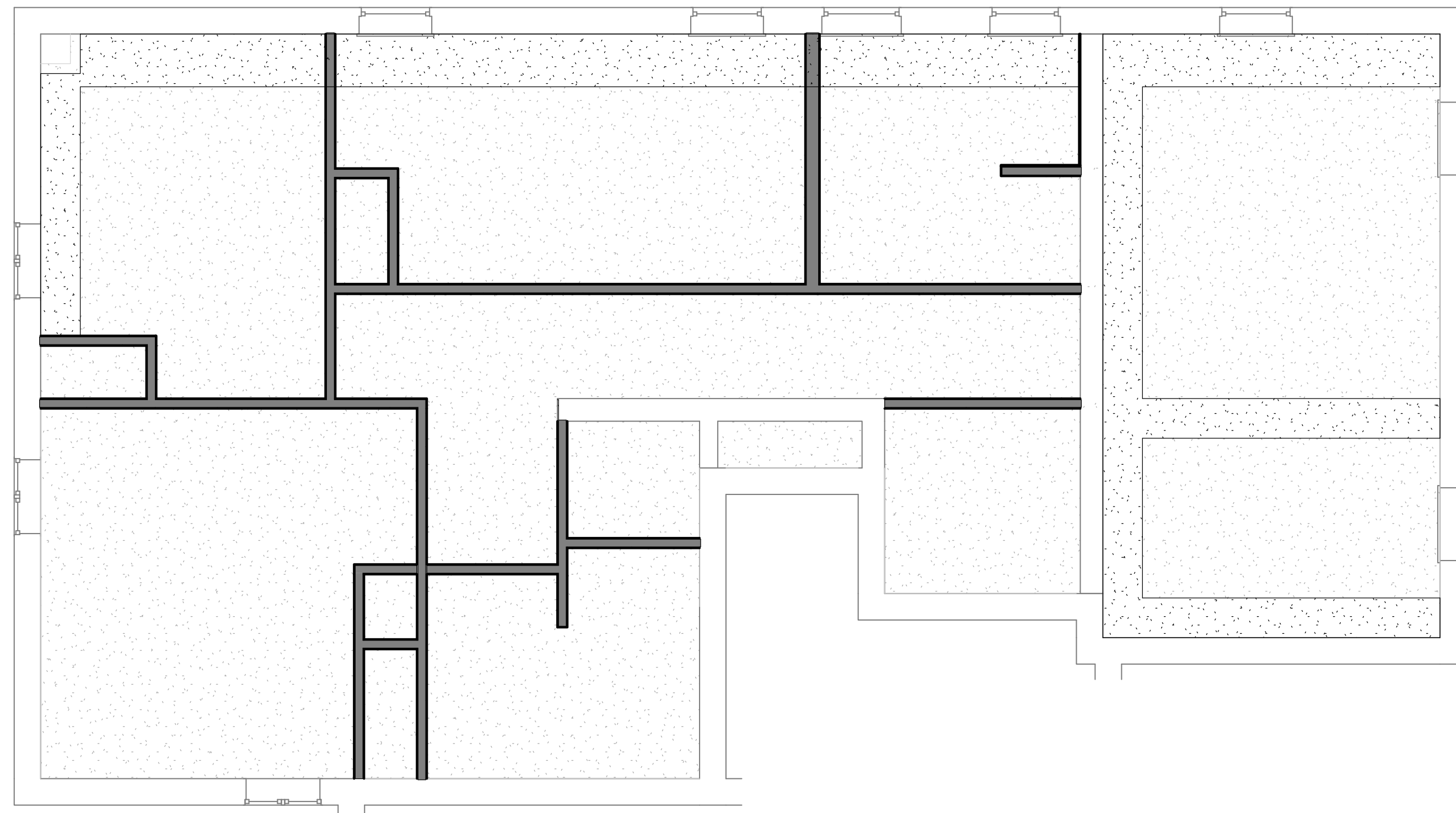
1. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM W/ 1/2" GYP. BD. (USE 5/8" TYPE 'X' GYP. BD. AT RATED ASSEMBLIES).
2. NEW LIGHT FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOXES, U.O.N. COORDINATE W/ ELECTRICAL DRAWINGS.
3. DIMENSIONS ARE CALCULATED FROM FACE OF EXISTING FINISH TO FACE OF NEW CORE, U.O.N.
4. PATCH CRACKS, NAIL POPS, AND HOLES IN EXISTING DRYWALL CEILINGS. FINISH PER FINISH SCHEDULE AND SPECIFICATIONS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
6. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
7. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
8. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

GENERAL NOTES: REFLECTED CEILING PLAN



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

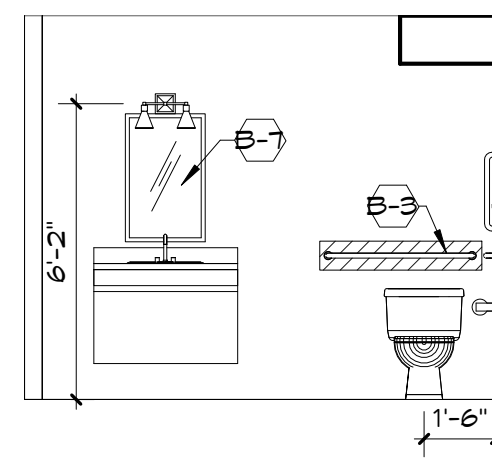


1 ENLARGED PLAN - UNIT TYPE 9 - RCP
 A-249B SCALE: 1/4" = 1'-0"

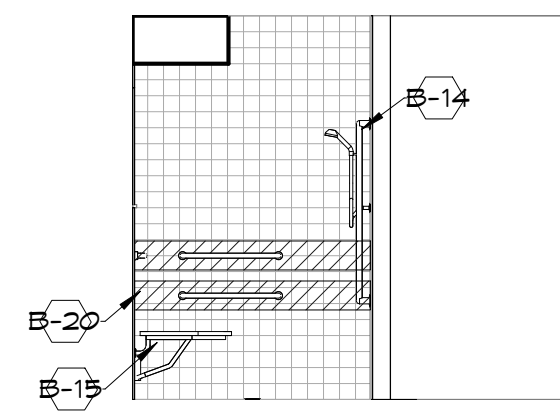
ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

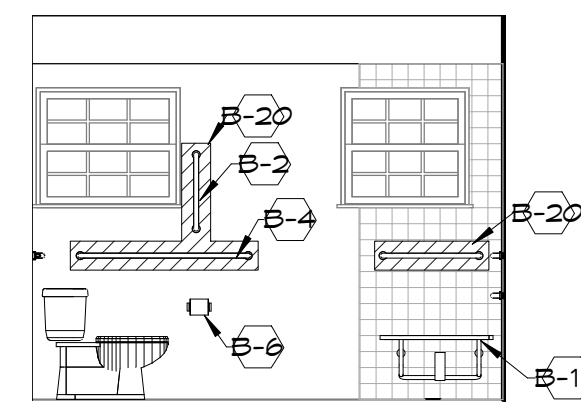
QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS	DATE: _____
DD REVIEWER INITIALS	DATE: _____
CD REVIEWER INITIALS	DATE: _____



2 UNIT TYPE 9 - BR 2 ELEV 1
 A-249B SCALE: 1/4" = 1'-0"



3 UNIT TYPE 9 - BR 2 ELEV 2
 A-249B SCALE: 1/4" = 1'-0"



4 UNIT TYPE 9 - BR 2 ELEV 3
 A-249B SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 9 ACC

JOB NUMBER: 18204
 DRAWING NUMBER:

A-249B

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

GENERAL NOTES: FLOOR PLANS

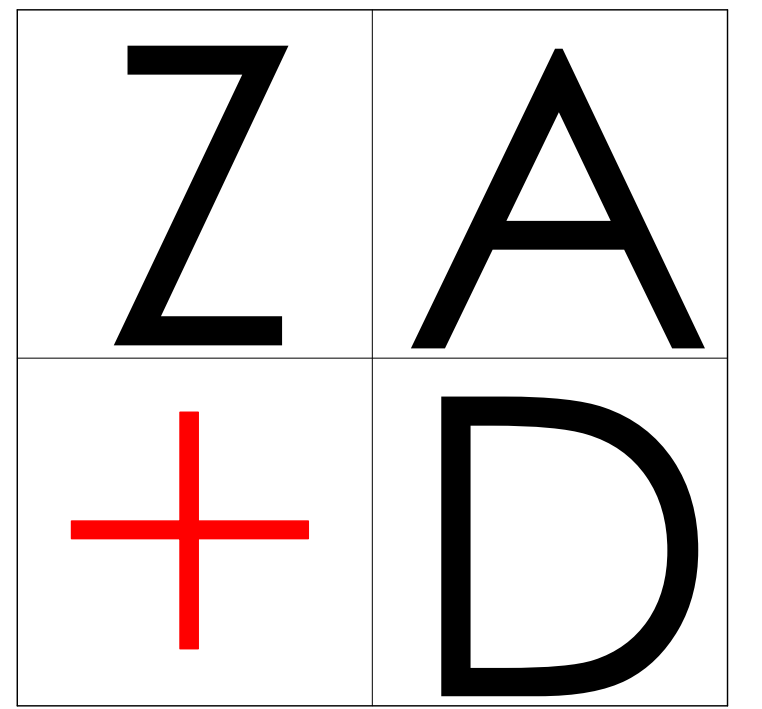
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
- DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

GENERAL NOTES: DEMOLITION

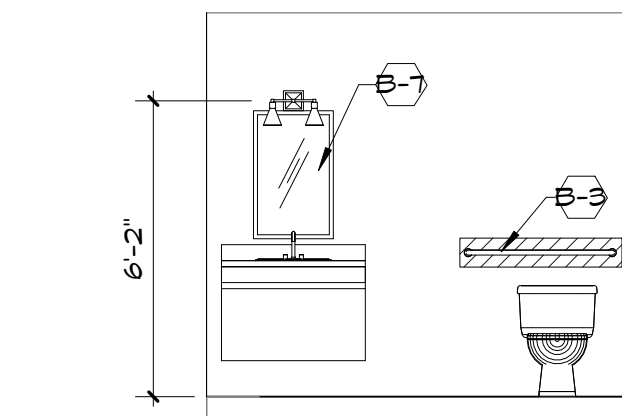
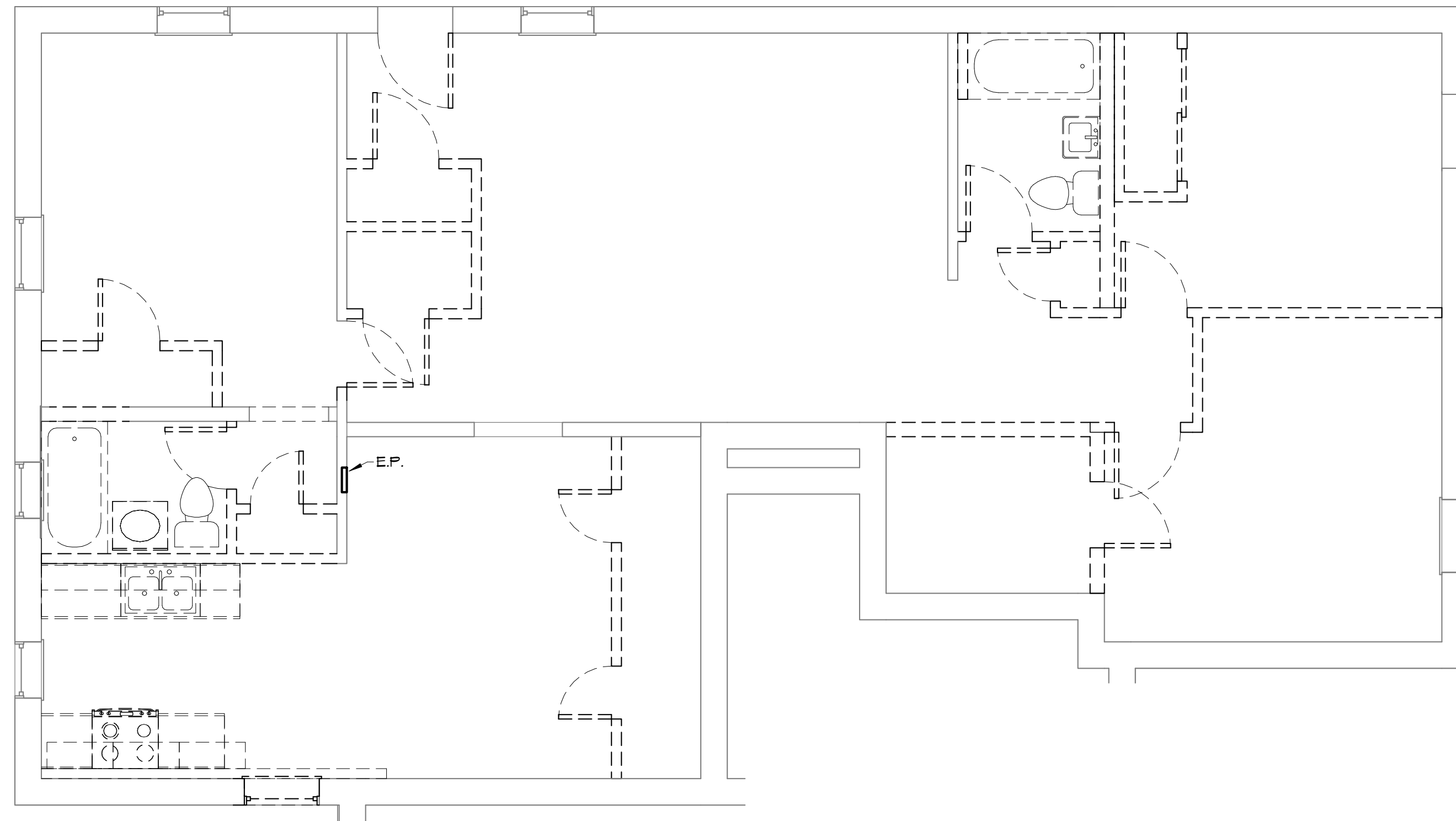
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
- PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

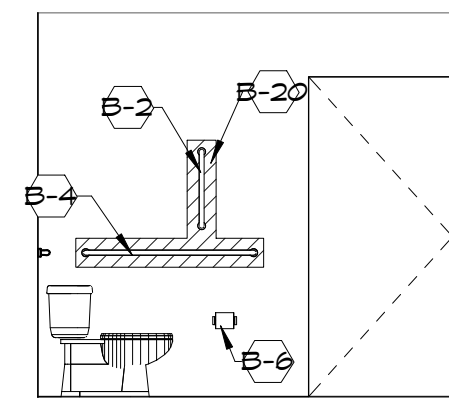


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

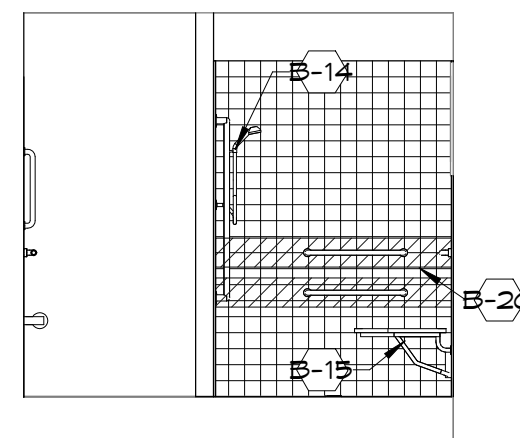
PRINTS ISSUED		
NO.	DESCRIPTION	DATE



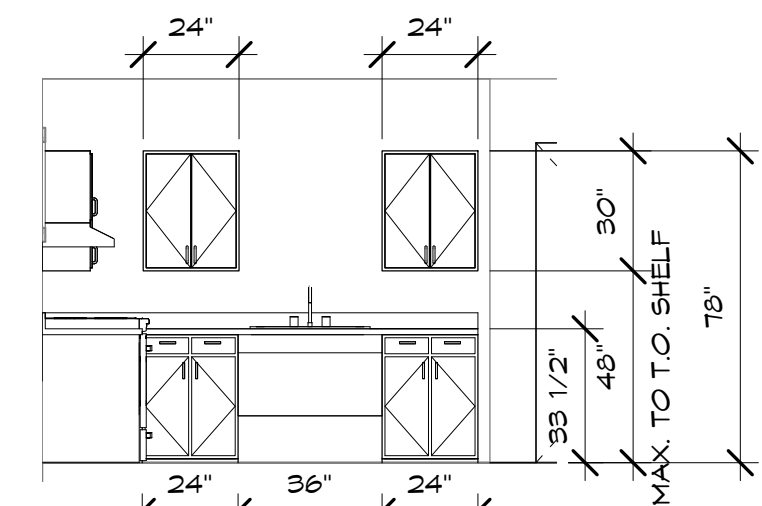
3 UNIT TYPE 10 - BR 1 ELEV 1
A-250 SCALE: 1/4" = 1'-0"



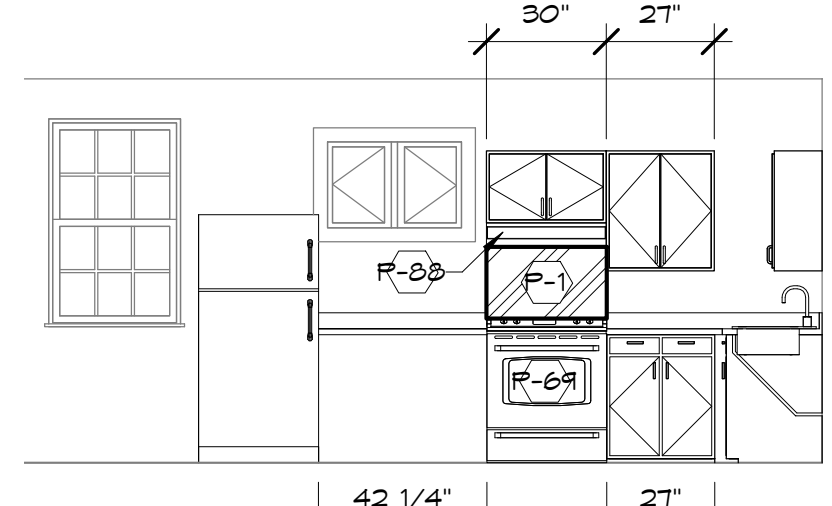
4 UNIT TYPE 10 - BR 1 ELEV 2
A-250 SCALE: 1/4" = 1'-0"



5 UNIT TYPE 10 - BR 1 ELEV 3
A-250 SCALE: 1/4" = 1'-0"



9 UNIT TYPE 10 - KITCHEN ELEV 1
A-250 SCALE: 1/4" = 1'-0"



10 UNIT TYPE 10 - KITCHEN ELEV 2
A-250 SCALE: 1/4" = 1'-0"

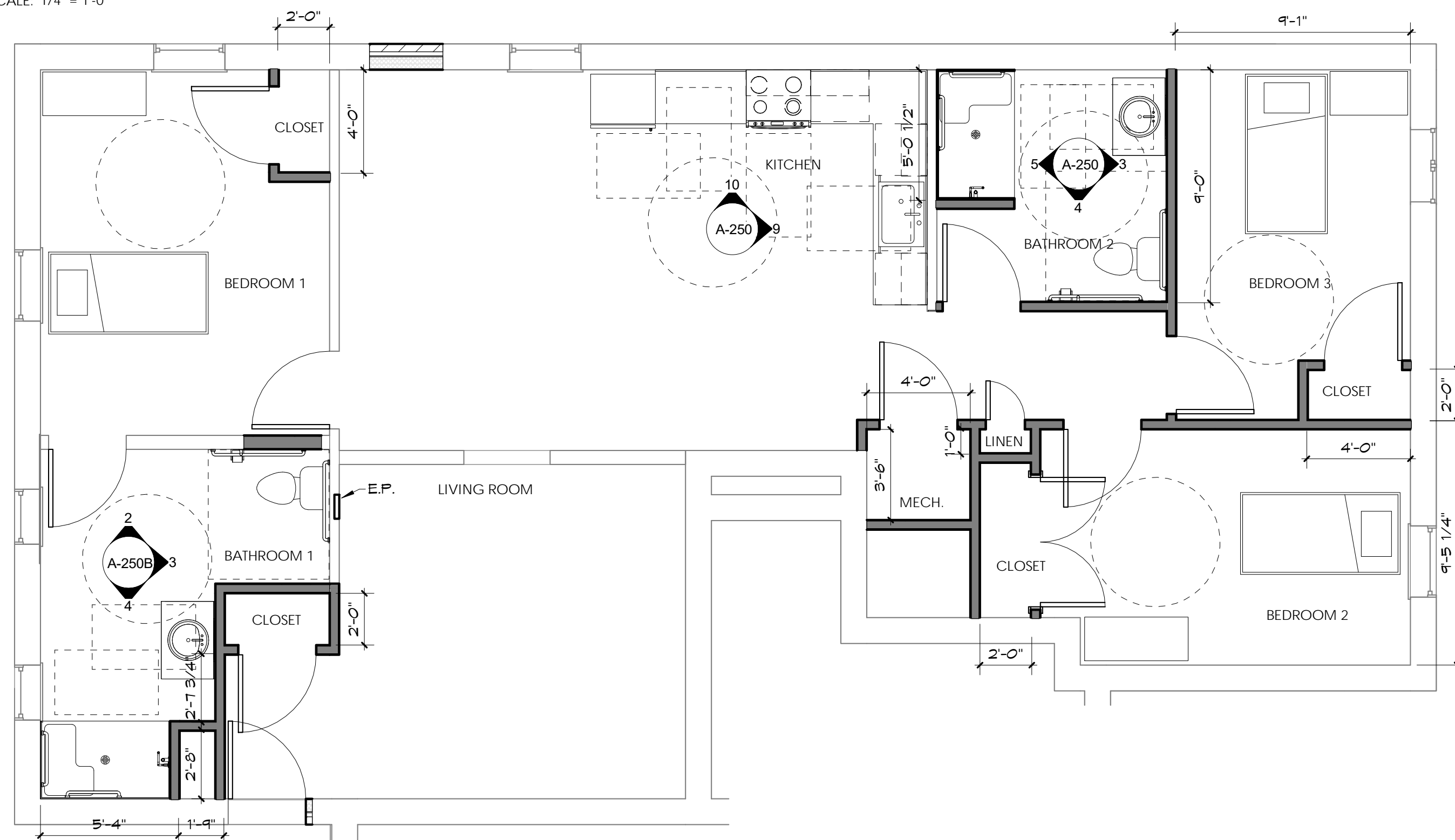
ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

2 ENLARGED PLAN - UNIT TYPE 10 - DEMOLITION

A-250 SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - UNIT TYPE 10 - NEW WORK

A-250 SCALE: 1/4" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 10 ACC

JOB NUMBER: 18204

DRAWING NUMBER:

A-250

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES

B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-185, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.

GENERAL NOTES: REFLECTED CEILING PLAN

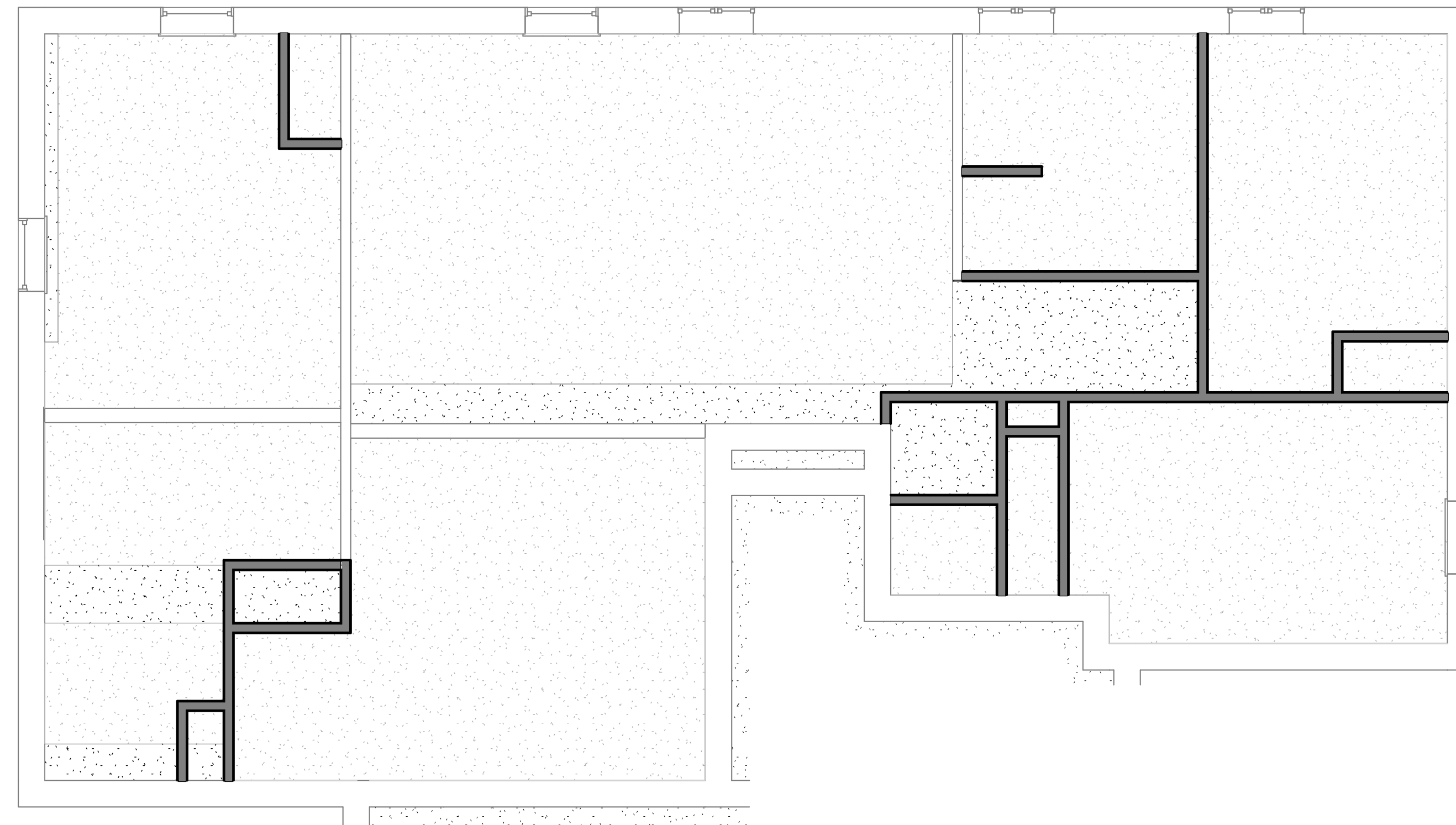
NEW CONSTRUCTION/FIT OUT:

1. ALL LAY-IN CEILING TILE AND ASSOCIATED GRID TO BE EQUALLY SPACED IN ROOM, U.O.N. WHEN POSSIBLE, AVOID USING TILES LESS THAN 4" IN ANY DIRECTION.
2. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM, W/ 1/2" GYP. BD. (5/8" TYPE 'X' AT RATED ASSEMBLIES)
3. DIMENSIONS ARE CALCULATED FROM FACE OF CORE TO FACE OF CORE, U.O.N.
4. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
6. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
7. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
8. COORDINATE EXISTING SPRINKLER HEADS WITH NEW CEILING SYSTEM

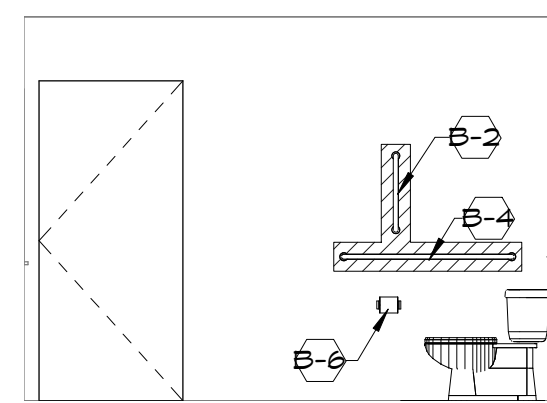
REHAB/RENOVATION:

1. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM W/ 1/2" GYP. BD. (USE 5/8" TYPE 'X' GYP. BD. AT RATED ASSEMBLIES)
2. NEW LIGHT FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOXES, U.O.N. COORDINATE W/ ELECTRICAL DRAWINGS.
3. DIMENSIONS ARE CALCULATED FROM FACE OF EXISTING FINISH TO FACE OF NEW CORE, U.O.N.
4. PATCH CRACKS, NAIL POPS, AND HOLES IN EXISTING DRYWALL CEILINGS. FINISH PER FINISH SCHEDULE AND SPECIFICATIONS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
6. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
7. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
8. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

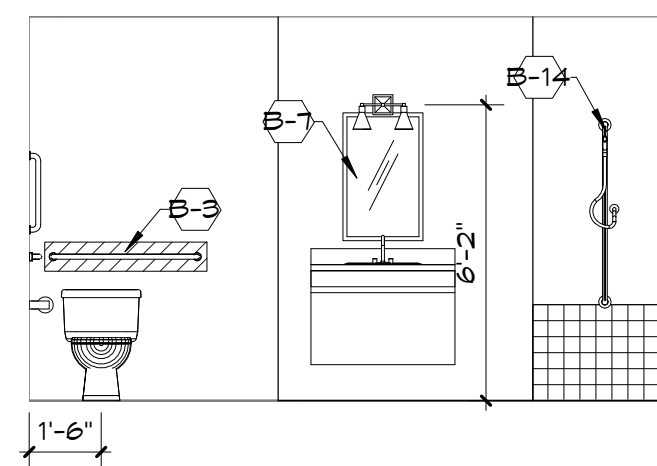
GENERAL NOTES: REFLECTED CEILING PLAN



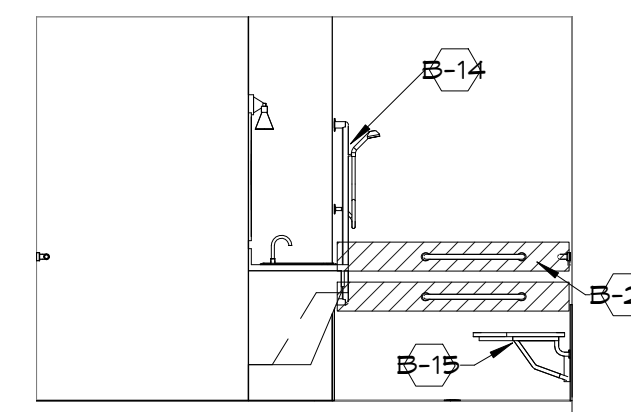
1 ENLARGED PLAN - UNIT TYPE 10 - RCP
A-250B SCALE: 1/4" = 1'-0"



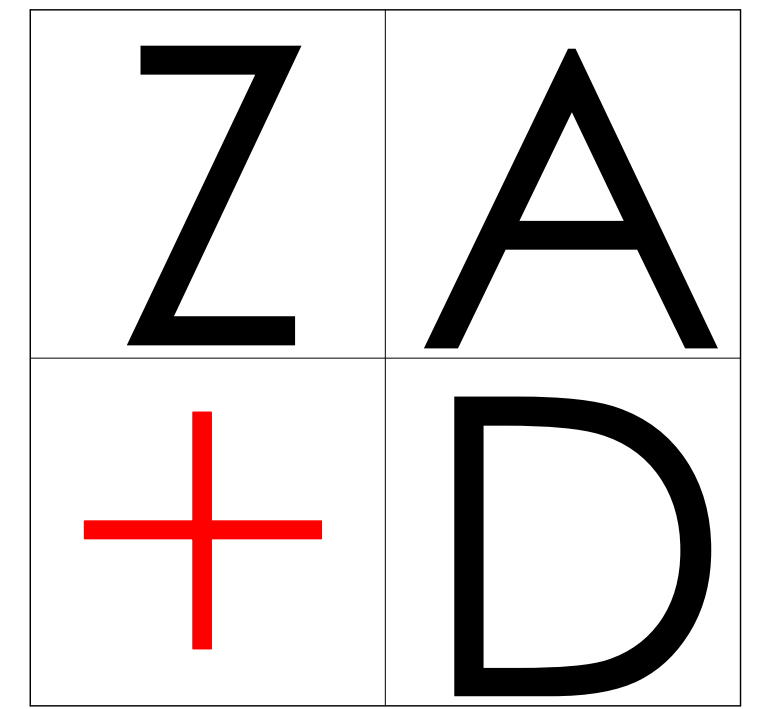
2 UNIT TYPE 10 - BR 2 ELEV 1
A-250B SCALE: 1/4" = 1'-0"



3 UNIT TYPE 10 - BR 2 ELEV 2
A-250B SCALE: 1/4" = 1'-0"



4 UNIT TYPE 10 - BR 2 ELEV 3
A-250B SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW		
SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLAN - UNIT TYPE 10 ACC

JOB NUMBER: 18204
DRAWING NUMBER:

A-250B
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com

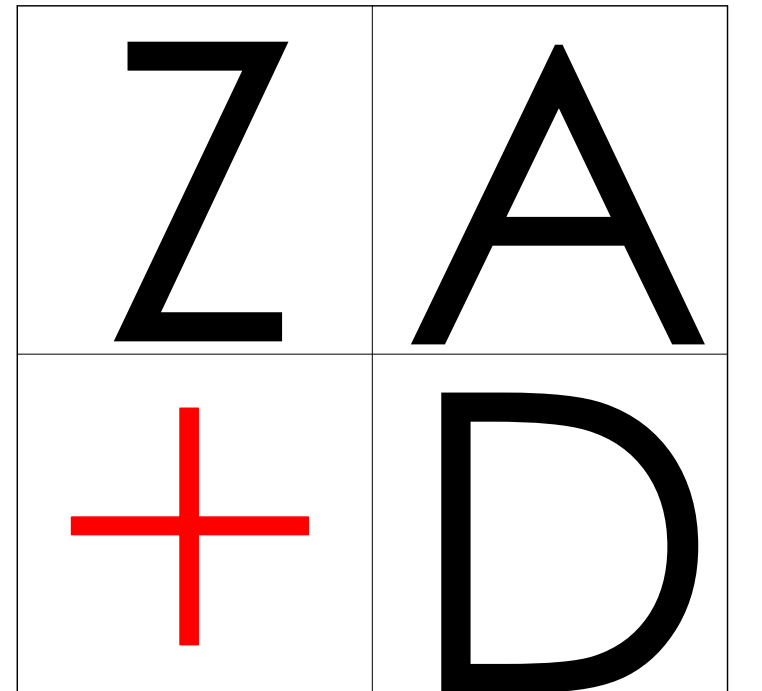
KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-511 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
B-21	24" TOWEL BAR.
P-1	PROVIDE STAINLESS STEEL BACKSPLASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
P-90	NEW P.LAM APRON AT ACCESSIBLE SINK.

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE. THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

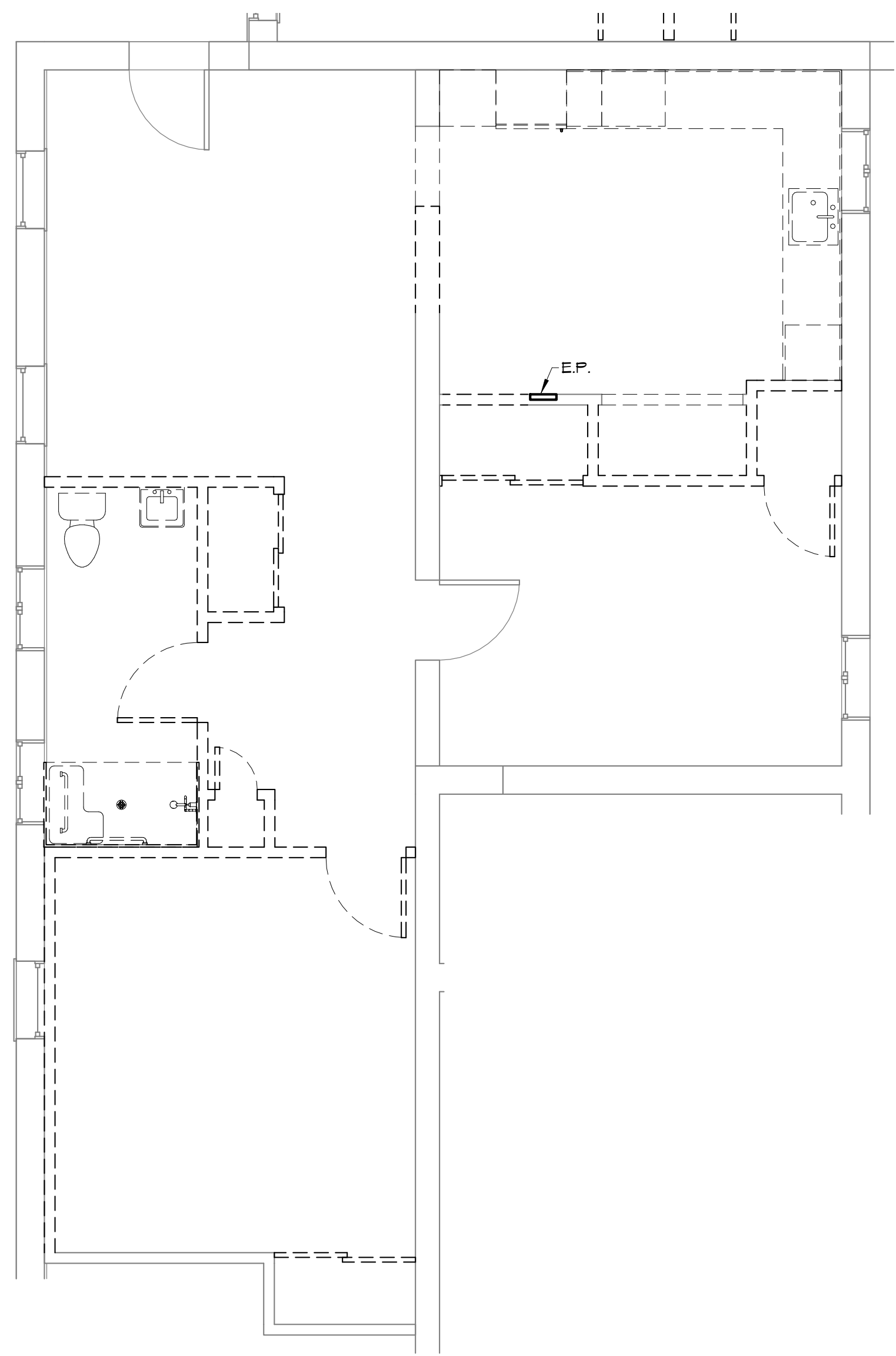
- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

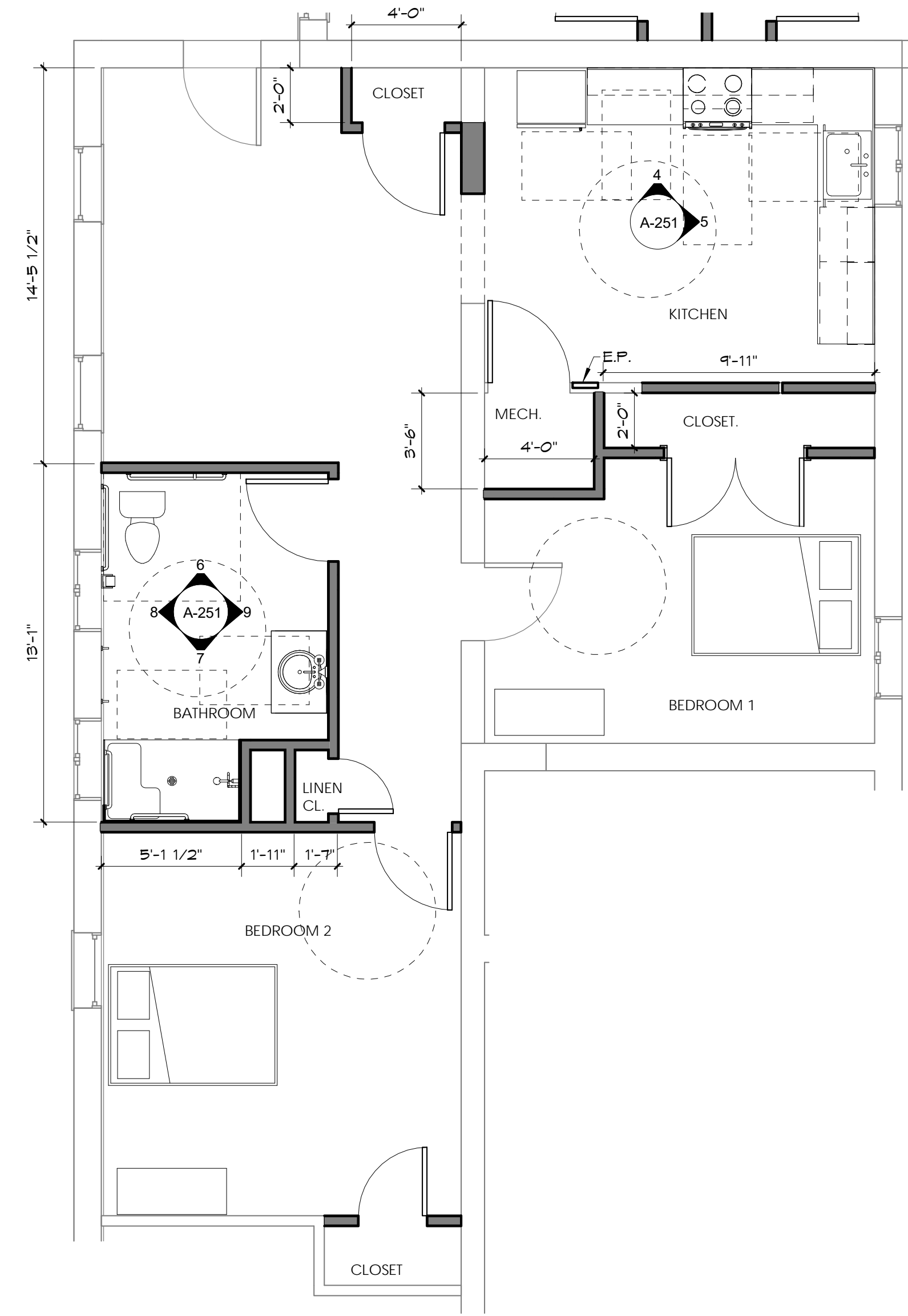


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

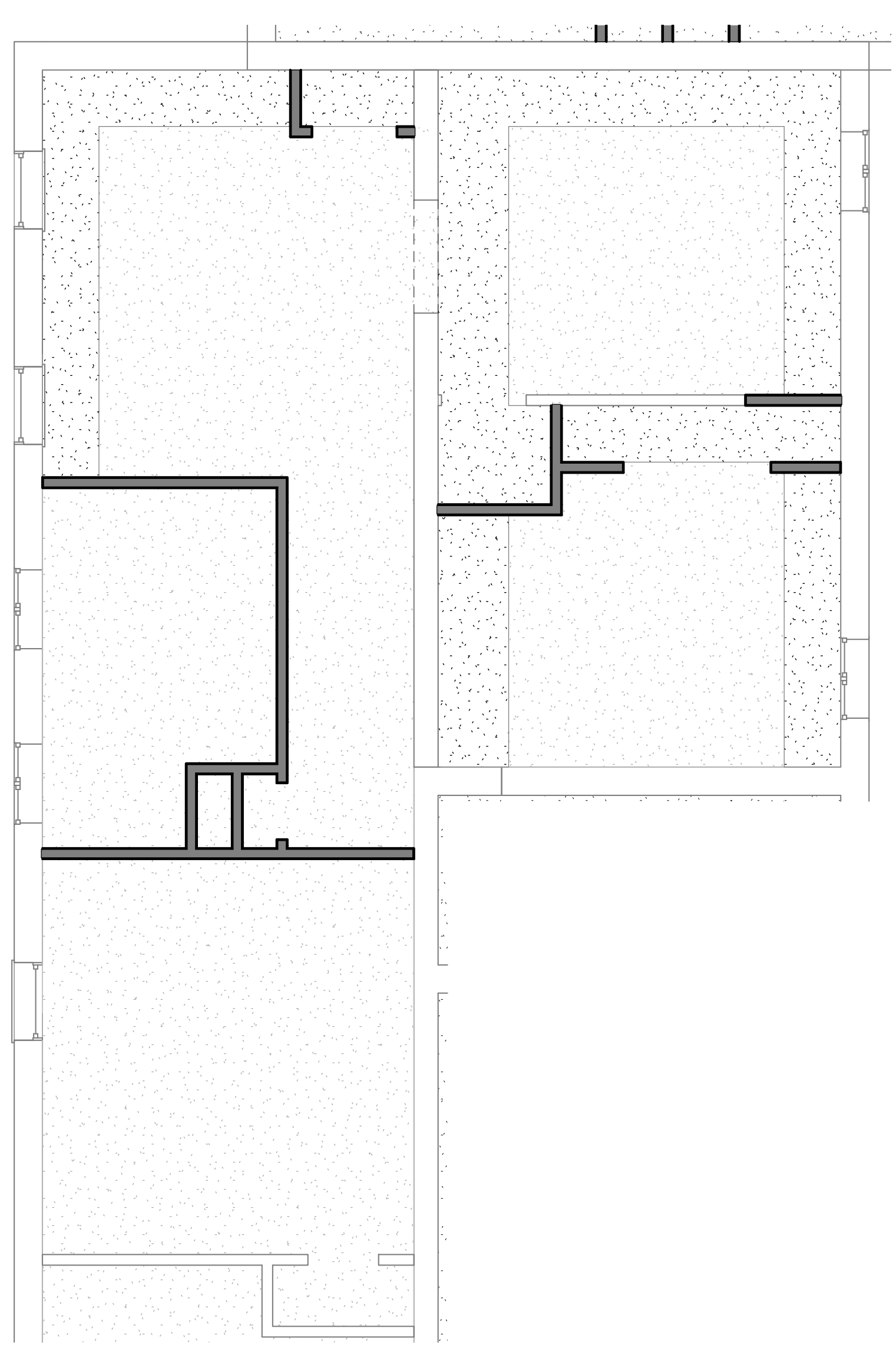
PRINTS ISSUED		
NO.	DESCRIPTION	DATE



1 ENLARGED PLAN - UNIT TYPE 11 - DEMOLITION
 A-251 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - UNIT TYPE 11 - NEW WORK
 A-251 SCALE: 1/4" = 1'-0"



3 ENLARGED PLAN - UNIT TYPE 11 - RCP
 A-251 SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

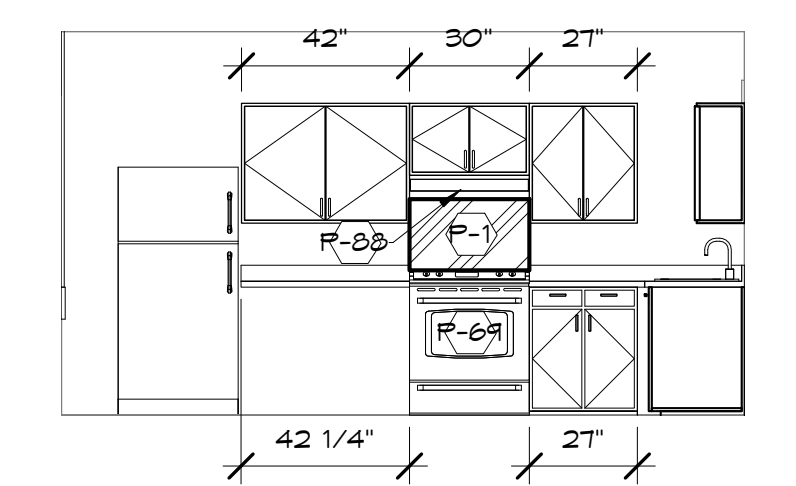
WHITEFIELD COMMONS
 PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 11 ACC

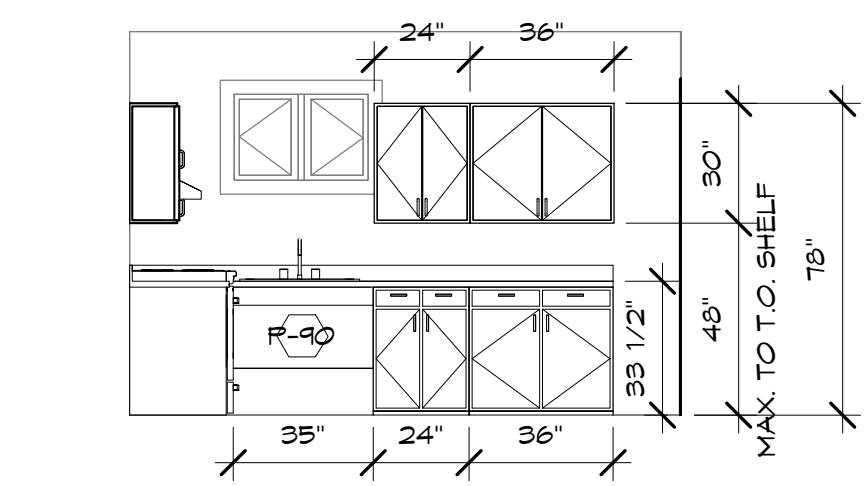
JOB NUMBER: 18204
 DRAWING NUMBER:

A-251

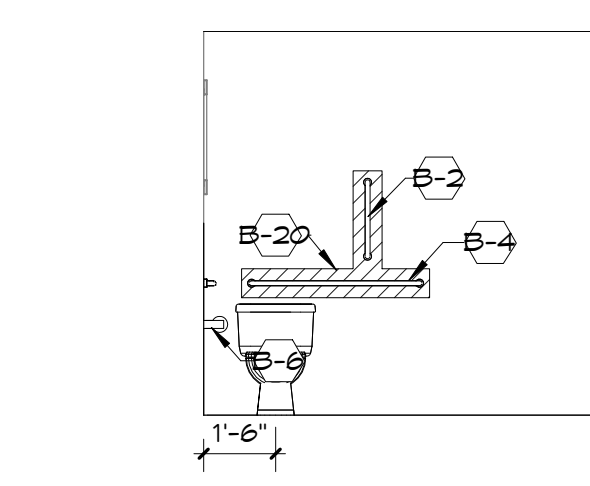
323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com



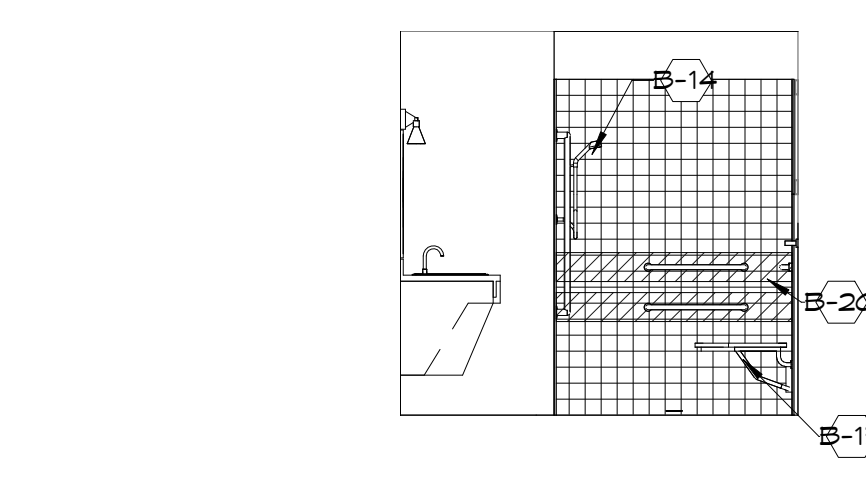
4 UNIT TYPE 11 - KITCHEN ELEV 1
 A-251 SCALE: 1/4" = 1'-0"



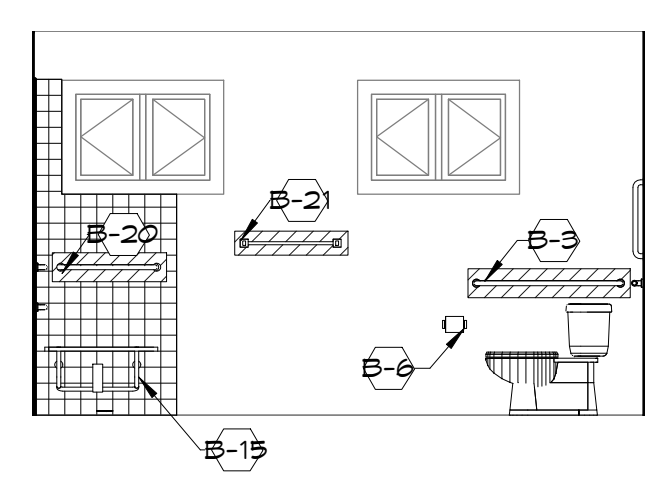
5 UNIT TYPE 11 - KITCHEN ELEV 2
 A-251 SCALE: 1/4" = 1'-0"



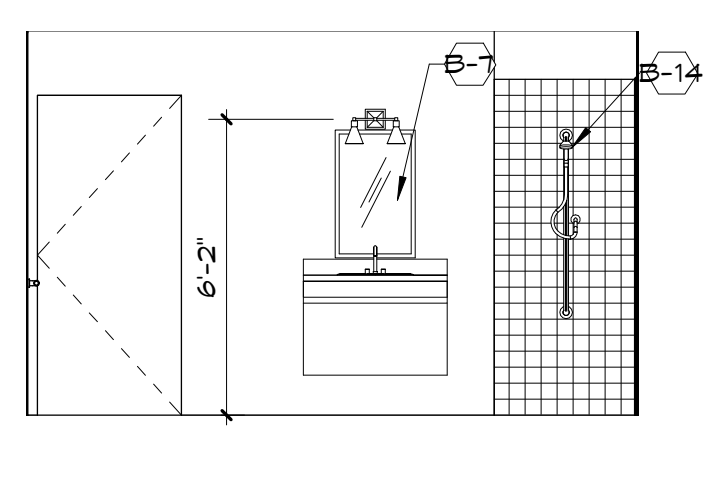
6 UNIT TYPE 11 - BATHROOM ELEV 1
 A-251 SCALE: 1/4" = 1'-0"



7 UNIT TYPE 11 - BATHROOM ELEV 2
 A-251 SCALE: 1/4" = 1'-0"



8 UNIT TYPE 11 - BATHROOM ELEV 3
 A-251 SCALE: 1/4" = 1'-0"



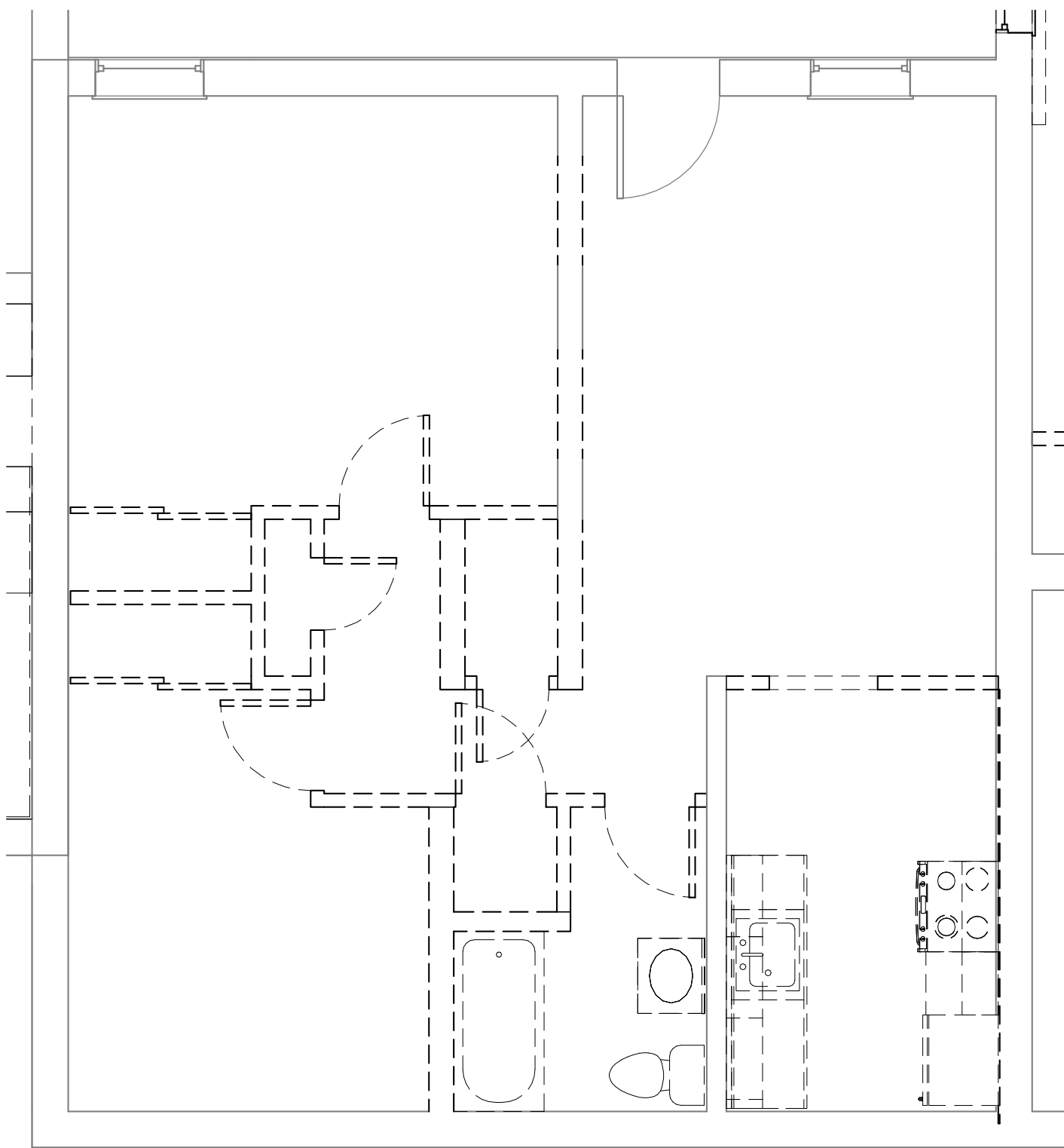
9 UNIT TYPE 11 - BATHROOM ELEV 4
 A-251 SCALE: 1/4" = 1'-0"

KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-8	WALL MOUNT LAV, SINK, ON CONCEALED CARRIERS (PER VHDA) - COORDINATE WITH PLUMBING
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.

GENERAL NOTES: FLOOR PLANS

- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS

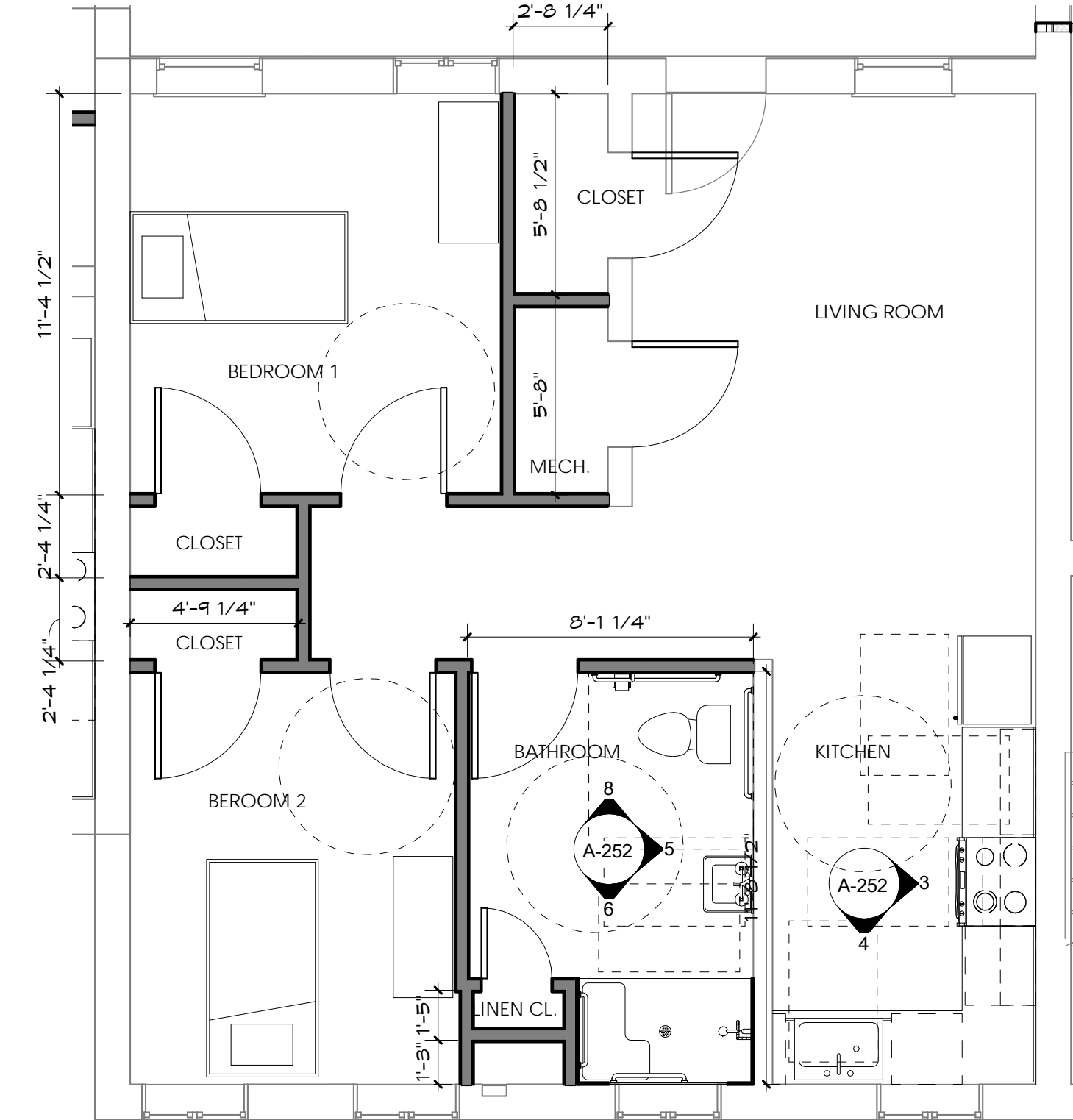


1 ENLARGED PLAN - UNIT TYPE 12 - DEMOLITION
SCALE: 1/4" = 1'-0"

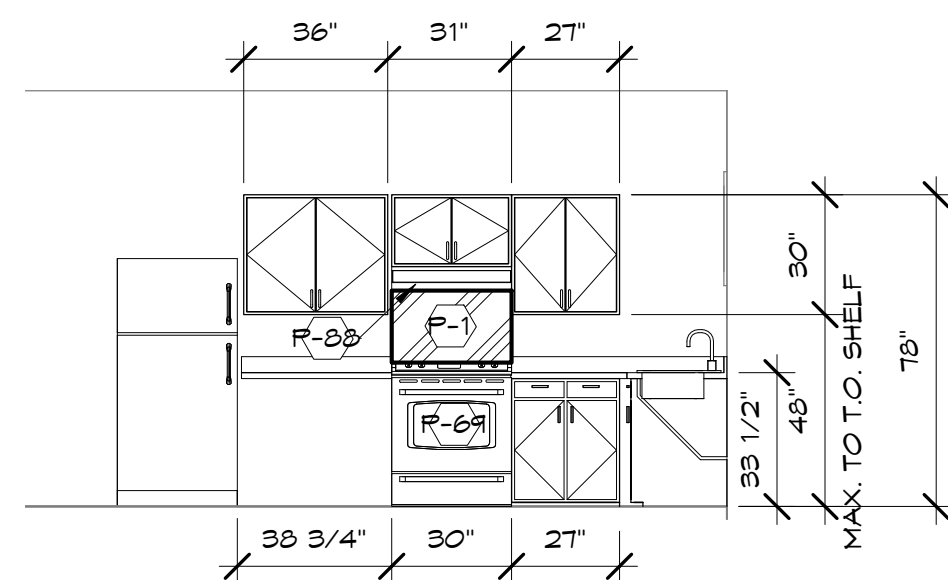
GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN, PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

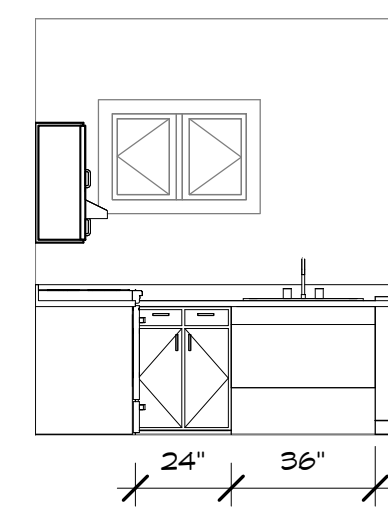
GENERAL NOTES: DEMOLITION



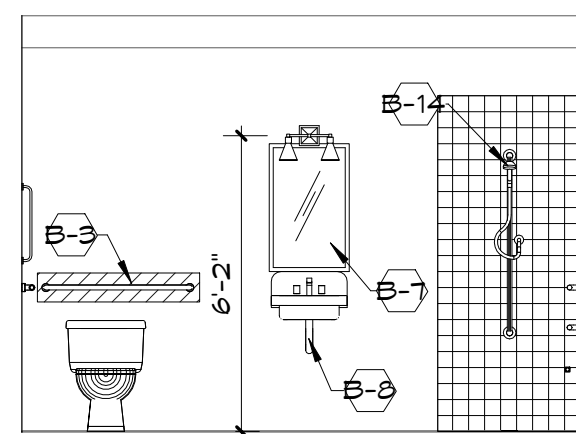
2 ENLARGED PLAN - UNIT TYPE 12 - NEW WORK
SCALE: 1/4" = 1'-0"



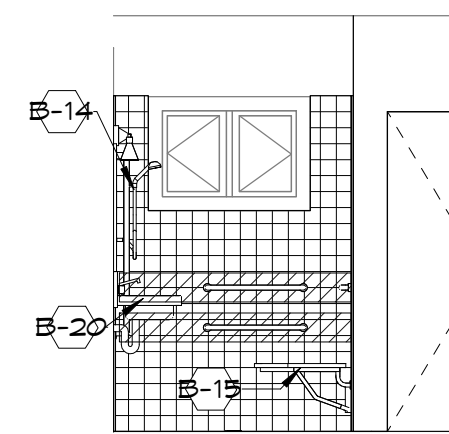
3 UNIT TYPE 12 - KITCHEN ELEV 1
SCALE: 1/4" = 1'-0"



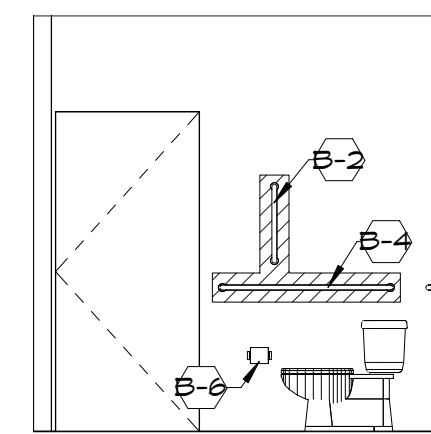
4 UNIT TYPE 12 - KITCHEN ELEV 2
SCALE: 1/4" = 1'-0"



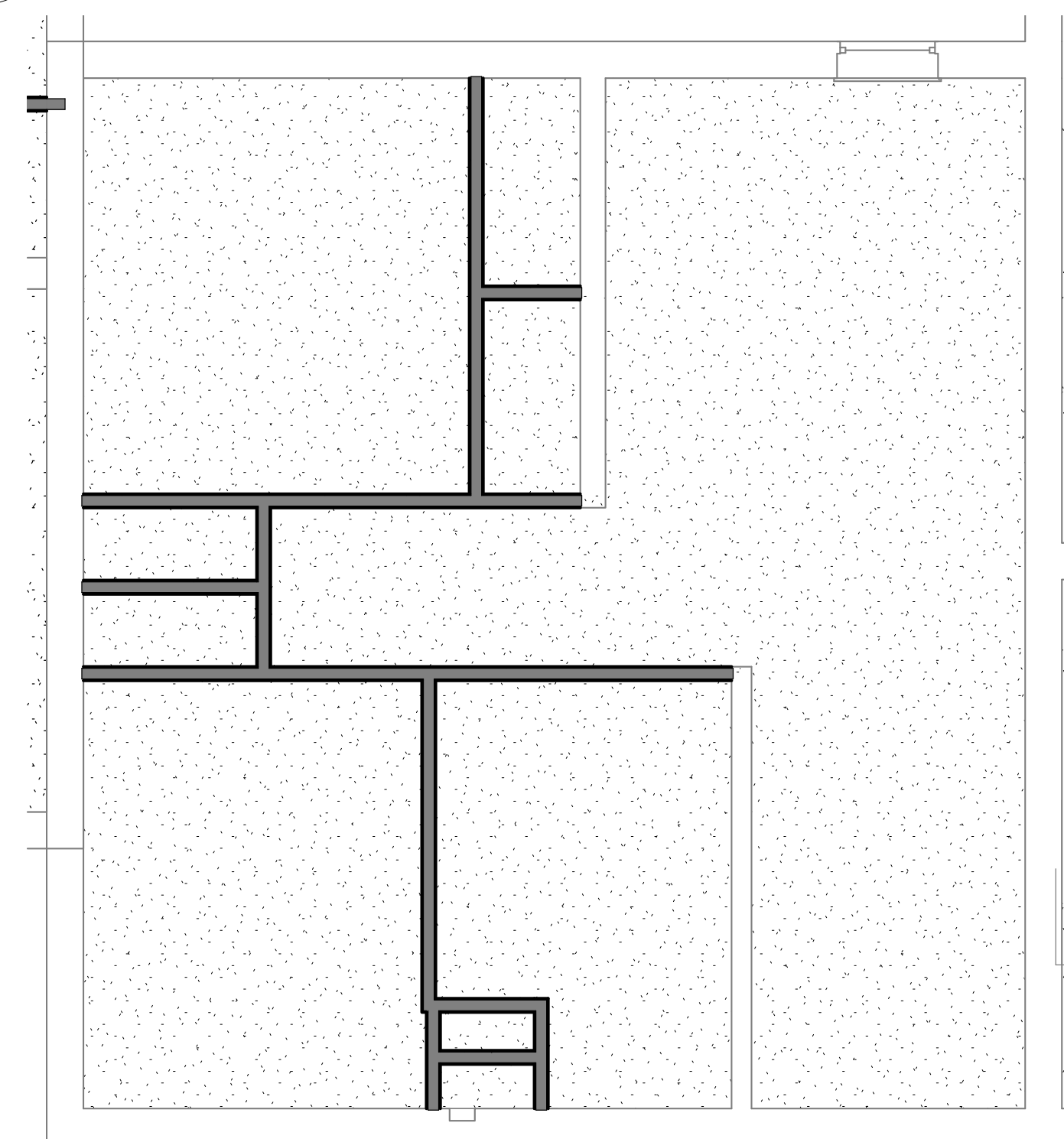
5 UNIT TYPE 12 - BATHROOM ELEV 1
SCALE: 1/4" = 1'-0"



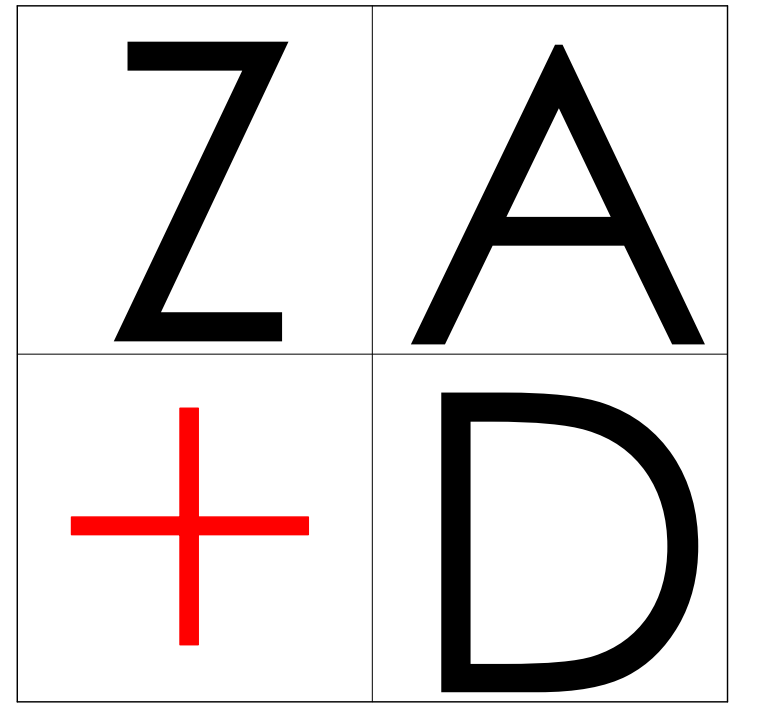
6 UNIT TYPE 12 - BATHROOM ELEV 2
SCALE: 1/4" = 1'-0"



8 UNIT TYPE 12 - BATHROOM ELEV 3
SCALE: 1/4" = 1'-0"



7 ENLARGED PLAN - UNIT TYPE 12 - RCP
SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS	DATE: _____
DD REVIEWER INITIALS	DATE: _____
CD REVIEWER INITIALS	DATE: _____

WHITEFIELD COMMONS

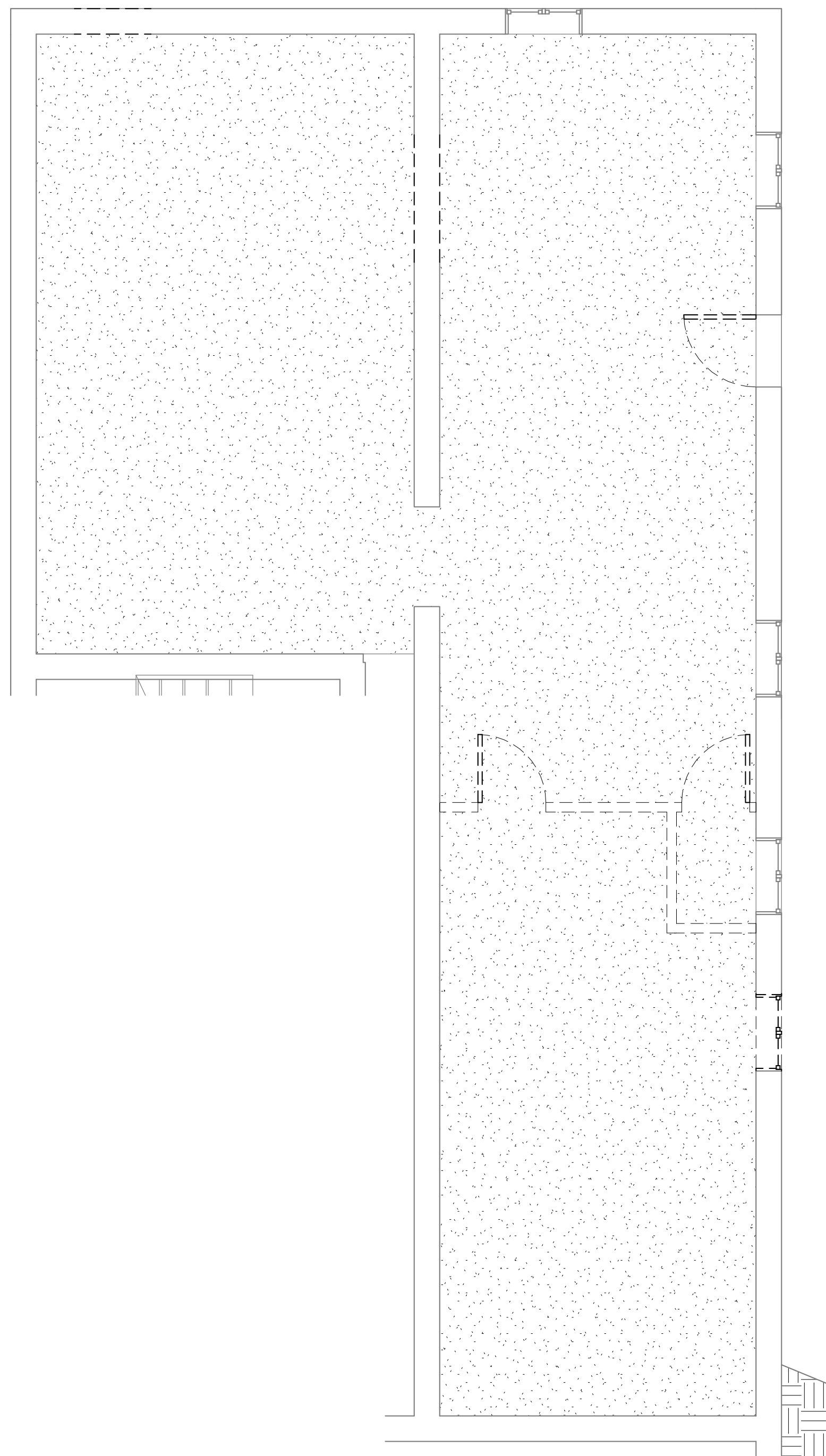
PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 12 ACC

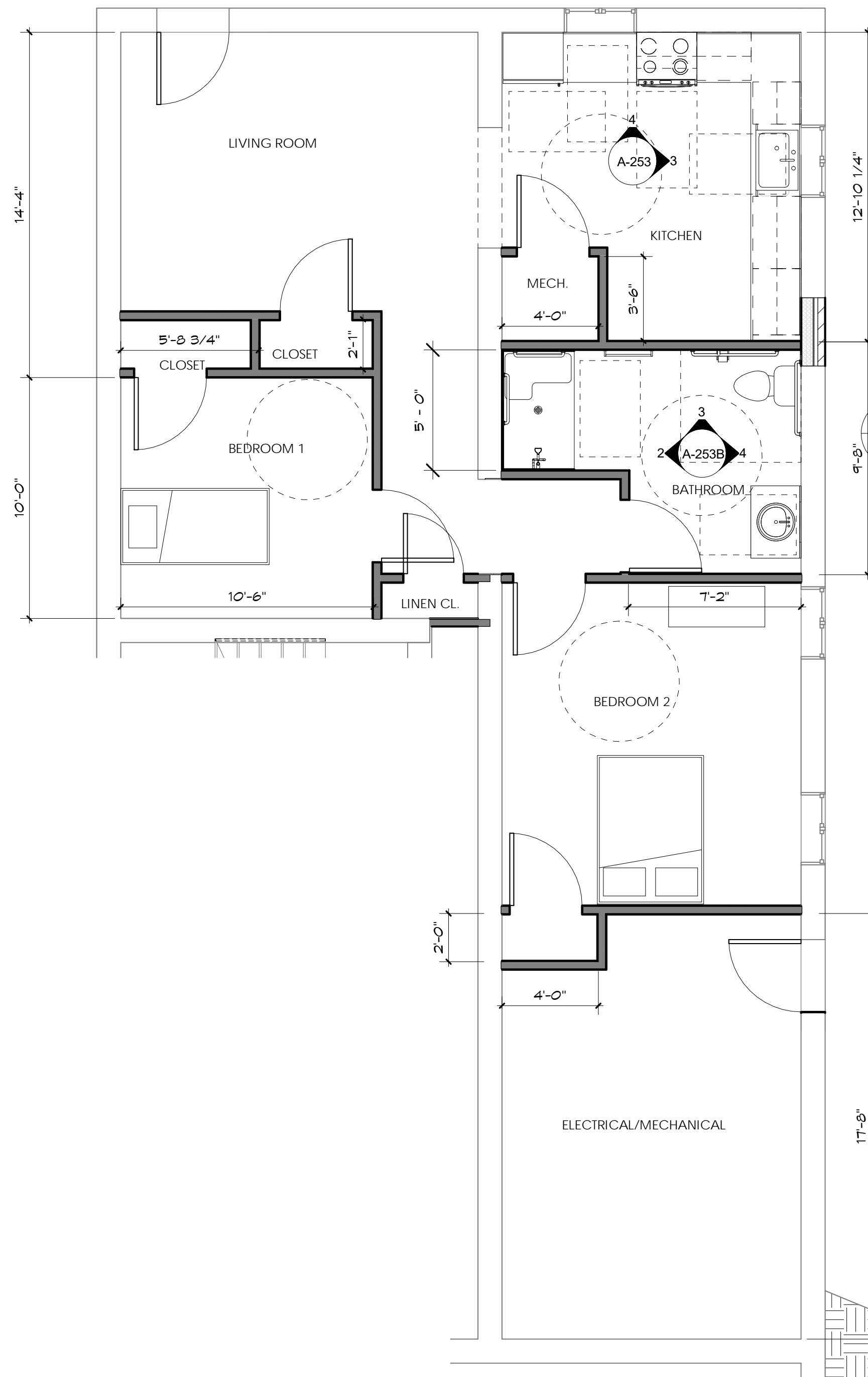
JOB NUMBER: 18204
DRAWING NUMBER:

A-252

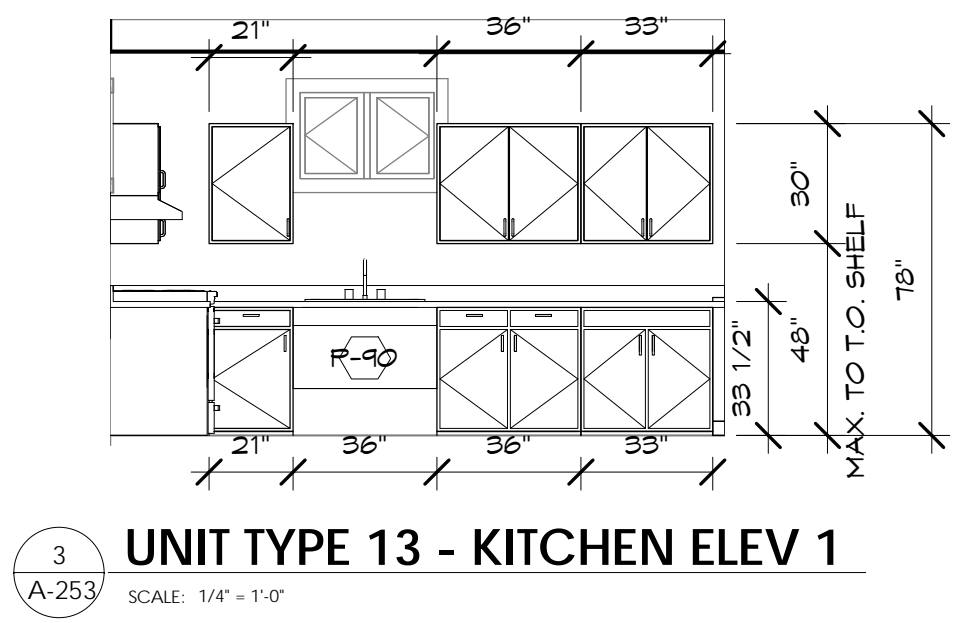
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



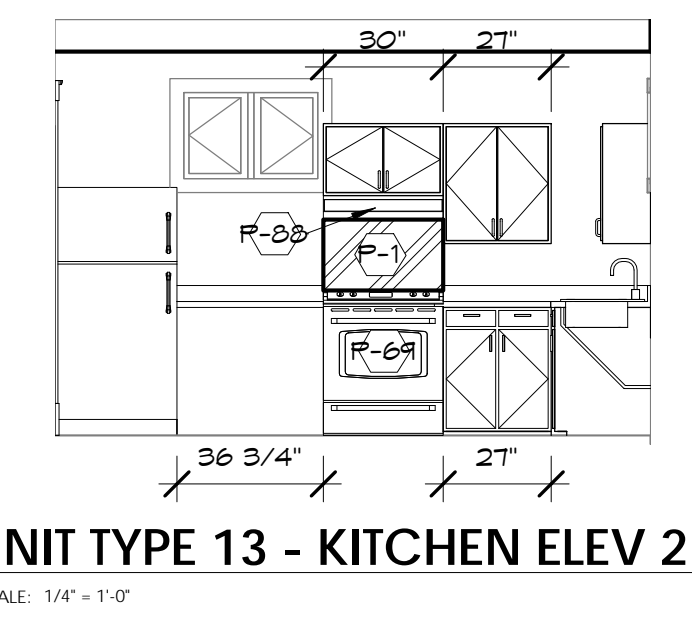
1 ENLARGED PLAN - UNIT TYPE 13 - DEMOLITON
 A-253 SCALE: 1/4" = 1'-0"



2 ENLARGED PLAN - UNIT TYPE 13 - NEW WORK
 A-253 SCALE: 1/4" = 1'-0"



3 UNIT TYPE 13 - KITCHEN ELEV 1
 A-253 SCALE: 1/4" = 1'-0"



4 UNIT TYPE 13 - KITCHEN ELEV 2
 A-253 SCALE: 1/4" = 1'-0"

- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

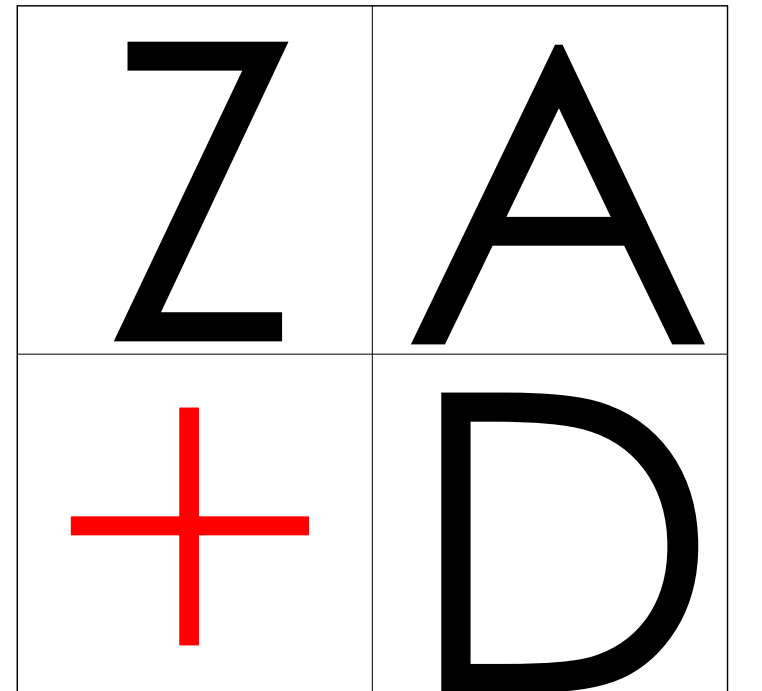
GENERAL NOTES: DEMOLITION
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
 - THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.

GENERAL NOTES: FLOOR PLANS
 SCALE: 1/4" = 1'-0"

KEYED NOTES

P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
P-90	NEW P.LAM APRON AT ACCESSIBLE SINK.



ZA+D design
ZA+D interiors
ZA+D passiv
 Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

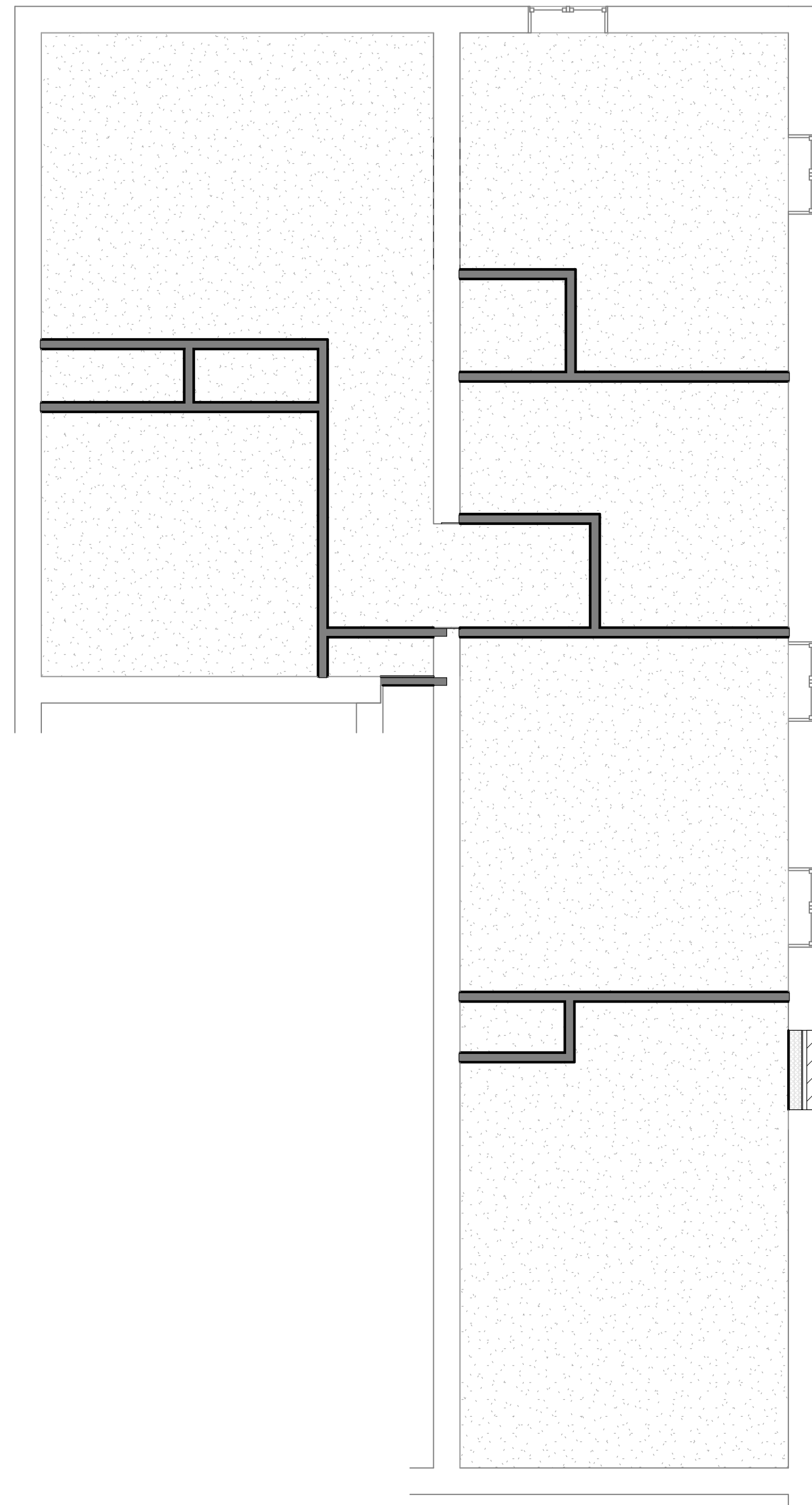
COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.
 QUALITY CONTROL REVIEW
 SD REVIEWER INITIALS _____ DATE: _____
 DD REVIEWER INITIALS _____ DATE: _____
 CD REVIEWER INITIALS _____ DATE: _____

WHITEFIELD COMMONS
 PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

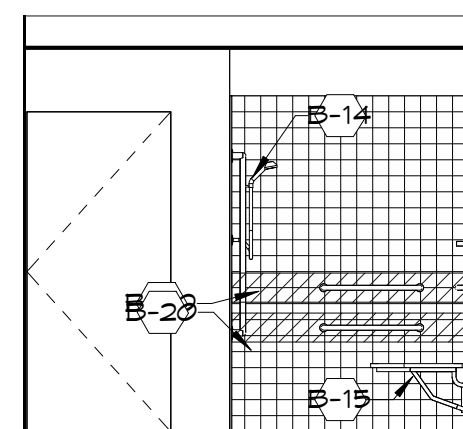
SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 13 ACC

JOB NUMBER: 18204
 DRAWING NUMBER:

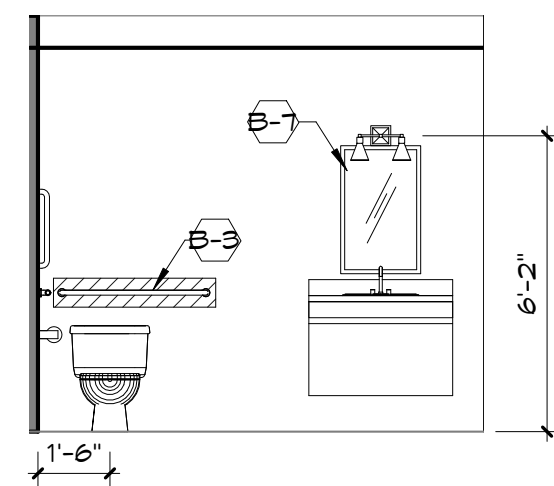
A-253
 323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com



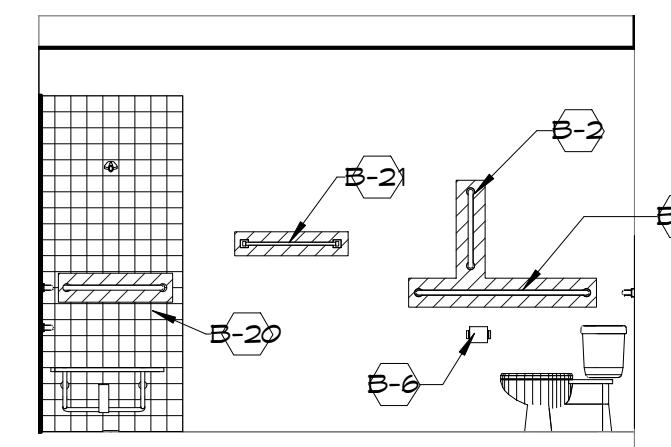
1 ENLARGED PLAN - UNIT TYPE 13 - RCP
A-253B SCALE: 1/4" = 1'-0"



2 UNIT TYPE 13 - BATHROOM ELEV 1
A-253B SCALE: 1/4" = 1'-0"



4 UNIT TYPE 13 - BATHROOM ELEV 2
A-253B SCALE: 1/4" = 1'-0"



3 UNIT TYPE 13 - BATHROOM ELEV 3
A-253B SCALE: 1/4" = 1'-0"

GENERAL NOTES: REFLECTED CEILING PLAN

NEW CONSTRUCTION/FIT OUT:

1. ALL LAY-IN CEILING TILE AND ASSOCIATED GRID TO BE EQUALLY SPACED IN ROOM, U.O.N. WHEN POSSIBLE, AVOID USING TILES LESS THAN 4" IN ANY DIRECTION.
2. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM, W/ 1/2" GYP. BD. (5/8" TYPE 'X' AT RATED ASSEMBLIES)
3. DIMENSIONS ARE CALCULATED FROM FACE OF CORE TO FACE OF CORE, U.O.N.
4. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
6. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
7. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
8. COORDINATE EXISTING SPRINKLER HEADS WITH NEW CEILING SYSTEM

REHAB/RENOVATION:

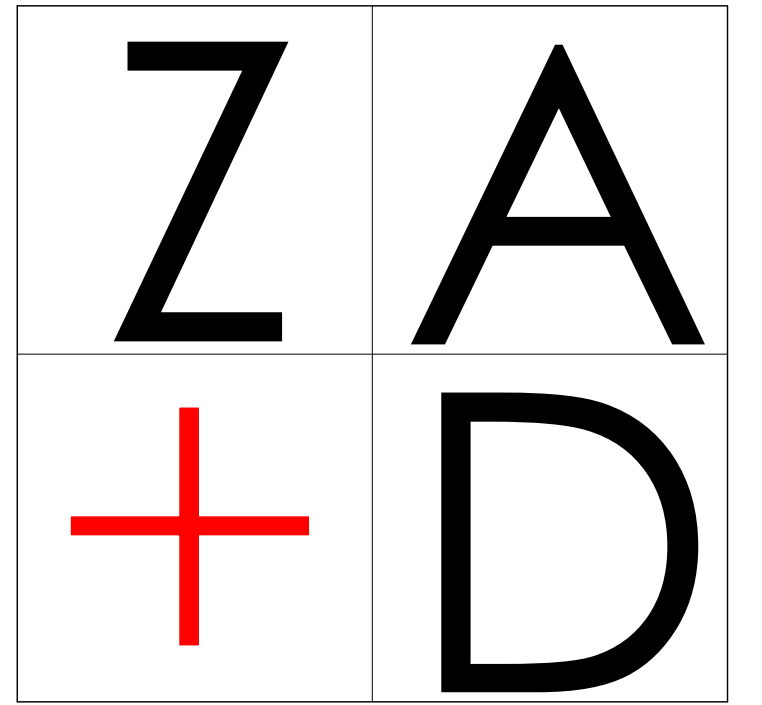
1. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM W/ 1/2" GYP. BD. (USE 5/8" TYPE 'X' GYP. BD. AT RATED ASSEMBLIES).
2. NEW LIGHT FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOXES, U.O.N. COORDINATE W/ ELECTRICAL DRAWINGS.
3. DIMENSIONS ARE CALCULATED FROM FACE OF EXISTING FINISH TO FACE OF NEW CORE, U.N.O.
4. PATCH CRACKS, NAIL POPS, AND HOLES IN EXISTING DRYWALL CEILINGS. FINISH PER FINISH SCHEDULE AND SPECIFICATIONS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
6. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
7. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
8. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

GENERAL NOTES: REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

KEYED NOTES

B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
B-21	24" TONEL BAR.



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS	DATE: _____
DD REVIEWER INITIALS	DATE: _____
CD REVIEWER INITIALS	DATE: _____

WHITEFIELD COMMONS

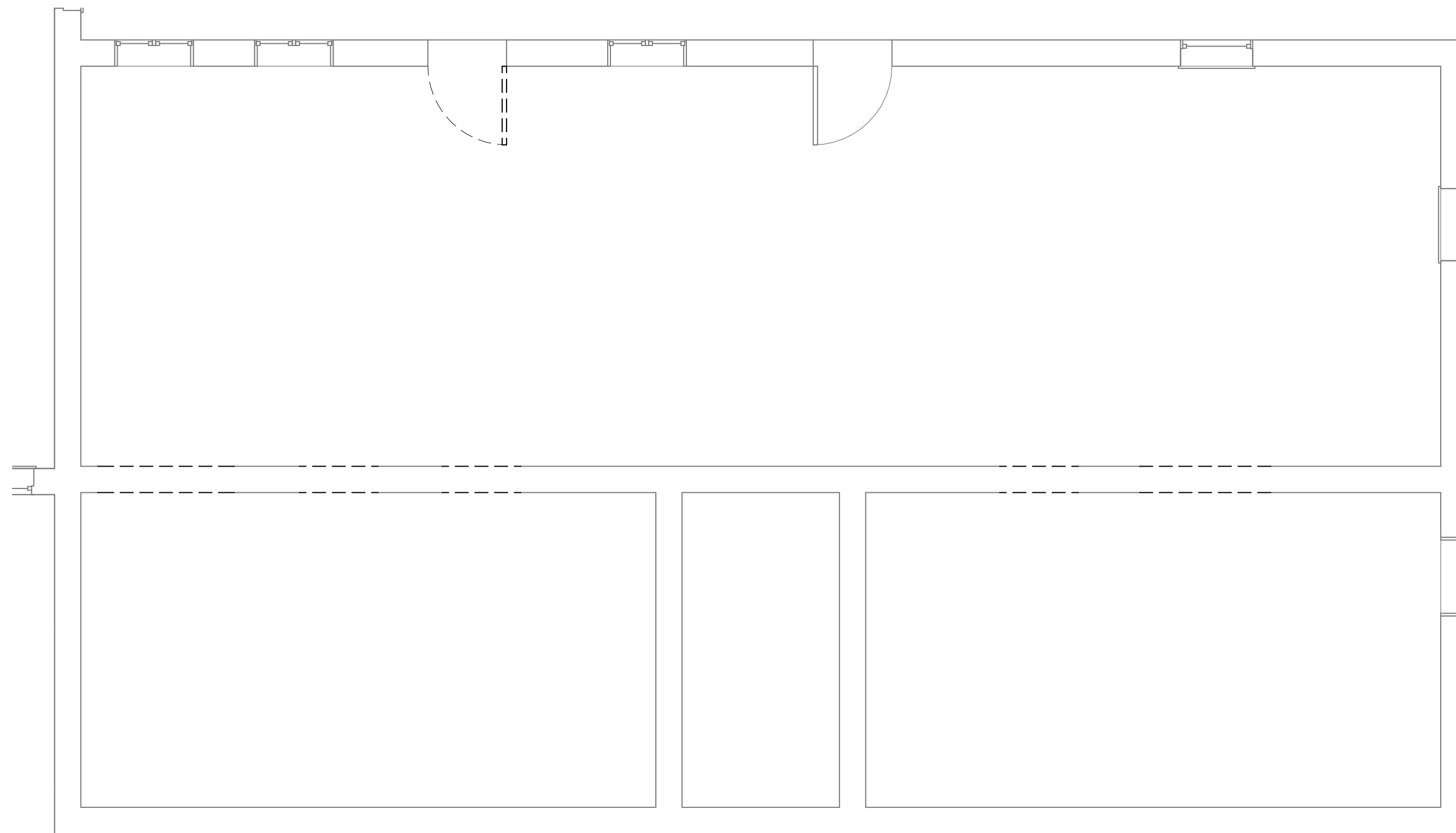
PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 13 ACC

JOB NUMBER: 18204
DRAWING NUMBER:

A-253B

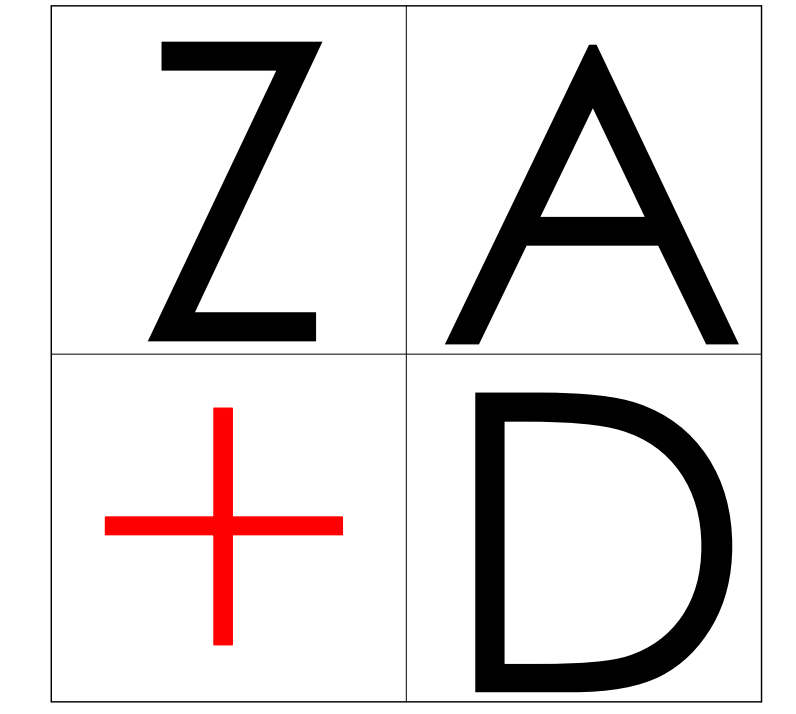
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



- GENERAL NOTES: DEMOLITION**
- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
 - GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
 - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
 - DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 - NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
 - PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
 - PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
 - VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
 - GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
 - PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION
SCALE: 1/4" = 1'-0"

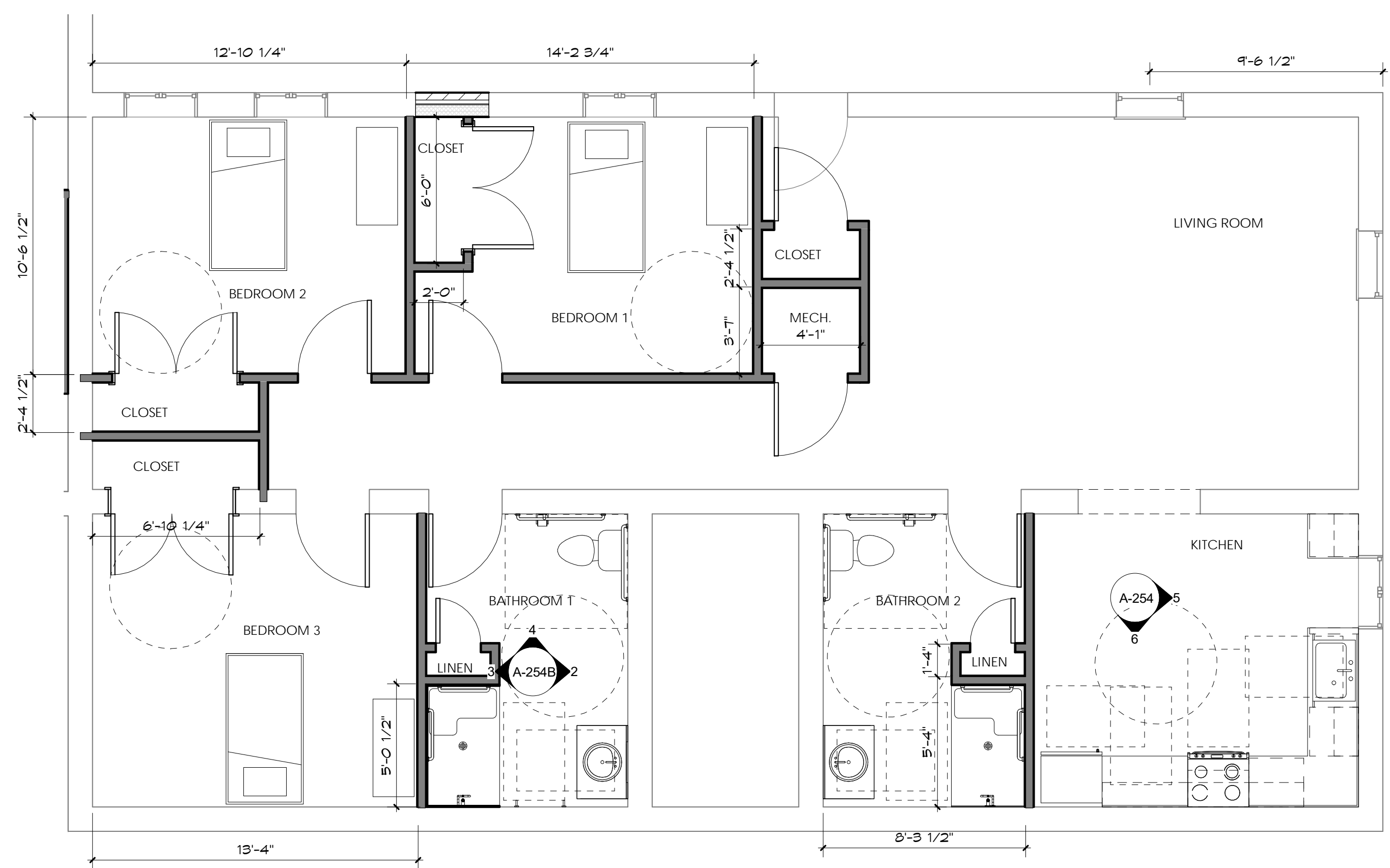
- GENERAL NOTES: FLOOR PLANS**
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
 - THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
 - ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
 - ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
 - GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION.
 - DRYWALL FINISH SHALL BE LEVEL ____, U.N.O.



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

1 ENLARGED PLAN - UNIT TYPE 14 - DEMOLITION
A-254 SCALE: 1/4" = 1'-0"



GENERAL NOTES: FLOOR PLANS
SCALE: 1/4" = 1'-0"

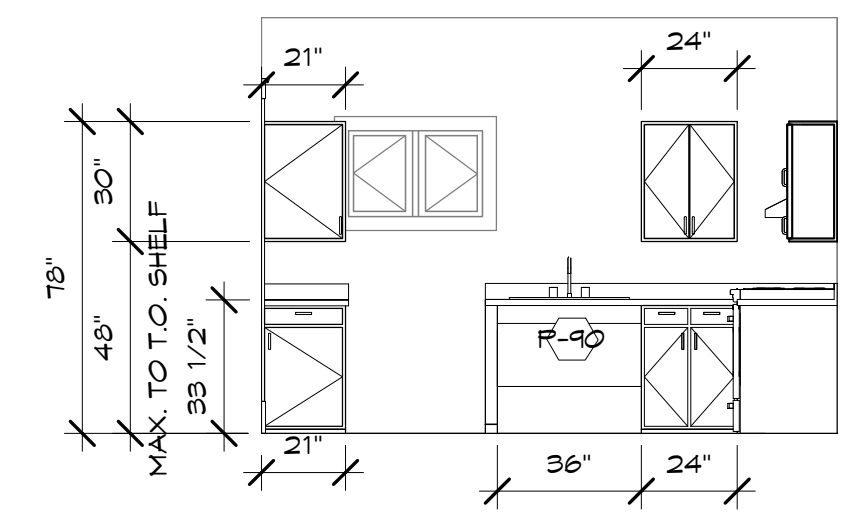
KEYED NOTES

P-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
P-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
P-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
P-90	NEW P.LAM APRON AT ACCESSIBLE SINK.

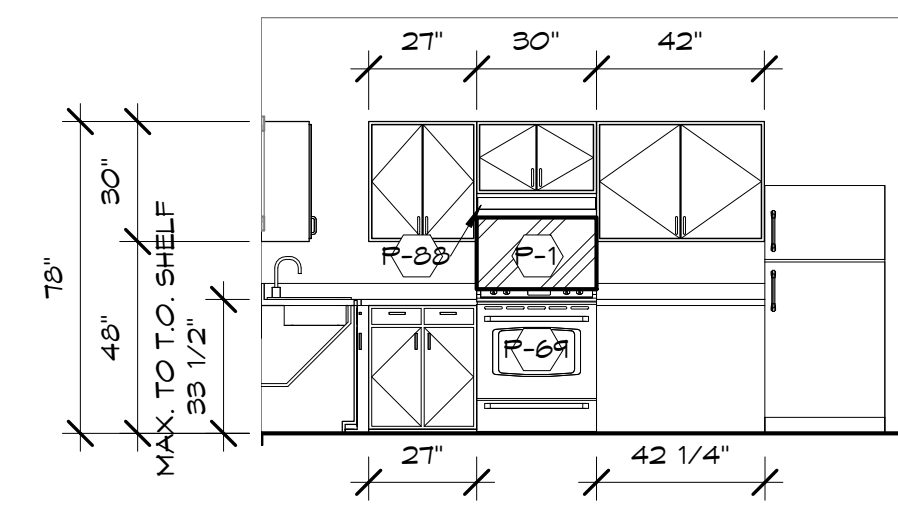
ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.
QUALITY CONTROL REVIEW
SD REVIEWER INITIALS _____ DATE: _____
DD REVIEWER INITIALS _____ DATE: _____
CD REVIEWER INITIALS _____ DATE: _____

2 ENLARGED PLAN - UNIT TYPE 14 - NEW WORK
A-254 SCALE: 1/4" = 1'-0"



5 UNIT TYPE 14 - KITCHEN ELEV 1
A-254 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 14 - KITCHEN ELEV 2
A-254 SCALE: 1/4" = 1'-0"

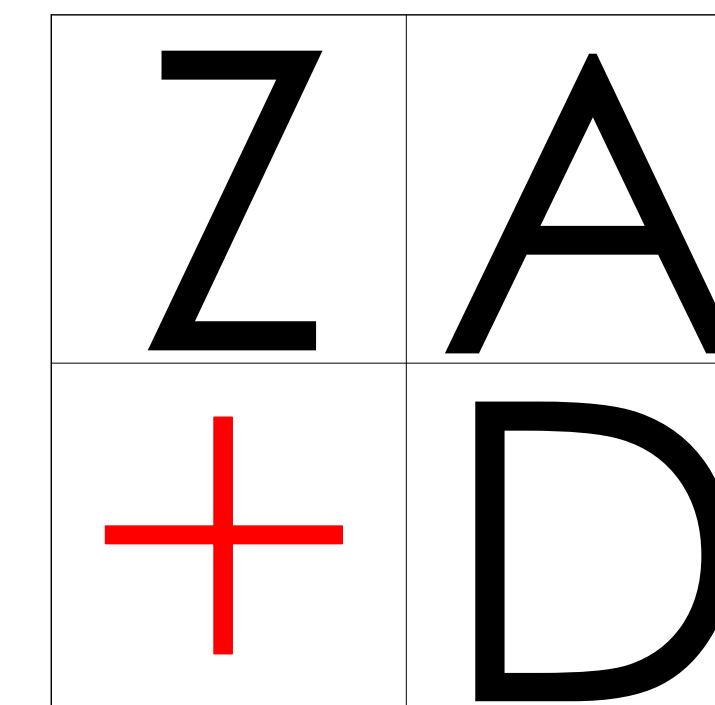
WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ENLARGED UNIT PLANS - UNIT TYPE 14 ACC

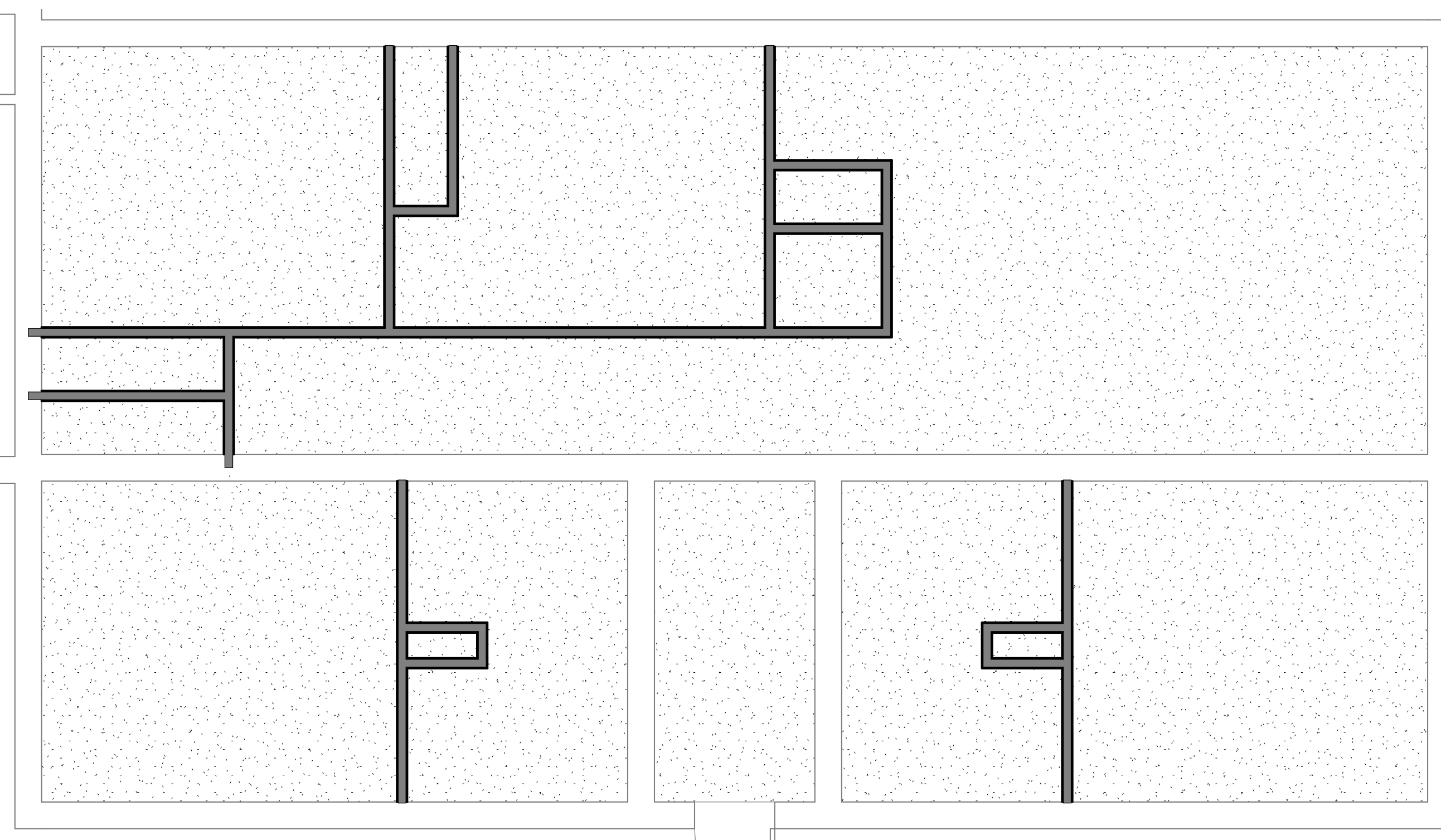
JOB NUMBER: 18204
DRAWING NUMBER:

A-254
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



1 ENLARGED PLAN - UNIT TYPE 14 - RCP
 A-254B SCALE: 1/4" = 1'-0"

GENERAL NOTES: REFLECTED CEILING PLAN

NEW CONSTRUCTION/FIT OUT:

1. ALL LAY-IN CEILING TILE AND ASSOCIATED GRID TO BE EQUALLY SPACED IN ROOM, U.O.N. WHEN POSSIBLE, AVOID USING TILES LESS THAN 4" IN ANY DIRECTION.
2. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM, W/ 1/2" GYP. BD. (5/8" TYPE 'X' AT RATED ASSEMBLIES)
3. DIMENSIONS ARE CALCULATED FROM FACE OF CORE TO FACE OF CORE, U.O.N.
4. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
5. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
6. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
7. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.
8. COORDINATE EXISTING SPRINKLER HEADS WITH NEW CEILING SYSTEM

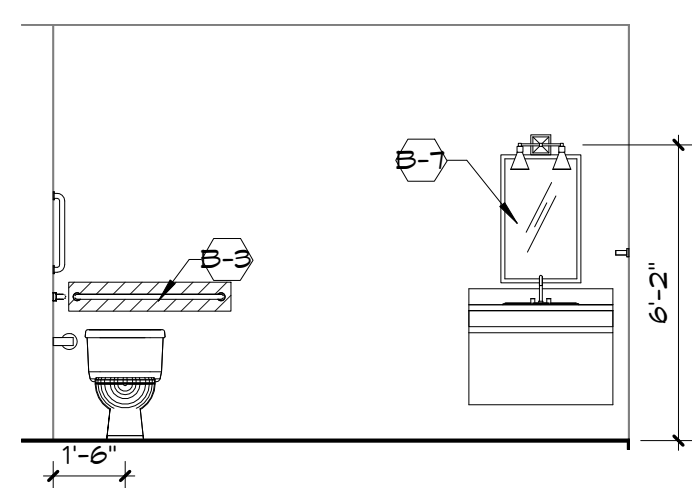
REHAB/RENOVATION:

1. DRYWALL BULKHEAD TYPICAL CONSTRUCTION TO BE GYP. BD. ON 3-5/8" MTL STUDS (OR 2 X 4 WD STUDS) @ 16" O.C. W/. KICKERS EVERY THIRD STUD MINIMUM W/ 1/2" GYP. BD. (USE 5/8" TYPE 'X' GYP. BD. AT RATED ASSEMBLIES).
2. NEW LIGHT FIXTURES TO BE INSTALLED AT EXISTING JUNCTION BOXES, U.O.N. COORDINATE W/ ELECTRICAL DRAWINGS.
3. DIMENSIONS ARE CALCULATED FROM FACE OF EXISTING FINISH TO FACE OF NEW CORE, U.N.O.
4. PATCH CRACKS, NAIL POPS, AND HOLES IN EXISTING DRYWALL CEILINGS. FINISH PER FINISH SCHEDULE AND SPECIFICATIONS.
5. COORDINATE WITH ELECTRICAL DRAWINGS FOR LOCATIONS AND FIXTURE TYPES OF SMOKE DETECTORS, EXIT SIGNS, AND EGRESS AND EMERGENCY LIGHTING.
6. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE SCHEDULE AND TECHNICAL INFORMATION.
7. LOCATIONS OF LIGHT FIXTURES SHALL BE DETERMINED FROM THE REFLECTED CEILING PLANS.
8. UPON FINDING A DISCREPANCY BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWINGS, NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION.

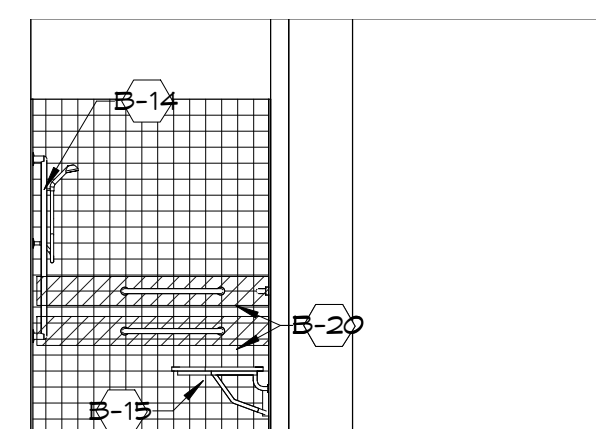
GENERAL NOTES: REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

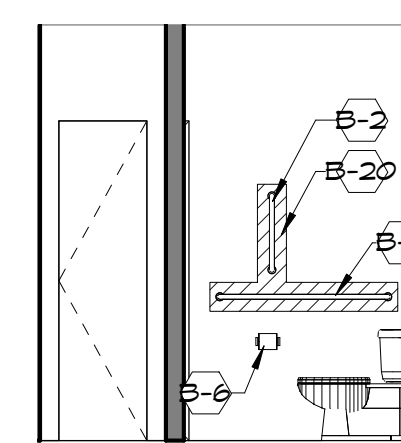
KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-14	TUB/SHOWER FAUCET/CONTROL - COORDINATE WITH PLUMBING
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.



2 UNIT TYPE 14 - BATHROOM ELEV 1
 A-254B SCALE: 1/4" = 1'-0"



3 UNIT TYPE 14 - BATHROOM ELEV 2
 A-254B SCALE: 1/4" = 1'-0"



4 UNIT TYPE 14 - BATHROOM ELEV 3
 A-254B SCALE: 1/4" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS	DATE: _____
DD REVIEWER INITIALS	DATE: _____
CD REVIEWER INITIALS	DATE: _____

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 14 ACC

JOB NUMBER: 18204
 DRAWING NUMBER:

A-254B

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com

KEYED NOTES	
B-2	18" GRAB BAR - BOBRICK, B-6806 X 18 - INSTALLED VERTICALLY
B-3	36" GRAB BAR - BOBRICK, B-6806 X 36
B-4	42" GRAB BAR - BOBRICK, B-6806 X 42
B-6	TOILET TISSUE DISPENSER - BOBRICK, B-2888 - DOUBLE ROLL
B-7	18"x30" MIRROR - BOBRICK, B-165, 1830 - CENTER ON LAV.
B-15	SHOWER SEAT - BOBRICK, B-517 OR B-518
B-16	HAND SHOWER ASSEMBLY - COORDINATE WITH PLUMBING
B-20	INSTALL 2x8 BLOCKING AT ALL BATHROOM ACCESSORIES.
F-1	PROVIDE STAINLESS STEEL BACKSPASH (MECHANICALLY FASTENED) BEHIND RANGE (AND SIDESPLASH IF IN CORNER)
F-69	FRONT CONTROLLED GAS RANGE WITH SELF CLEANING FEATURE
F-88	PROVIDE NEW RECIRCULATING RANGE HOOD.
F-90	NEW P.LAM APRON AT ACCESSIBLE SINK.

GENERAL NOTES: DEMOLITION

- GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
- GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
- DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
- PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
- PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
- VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE. EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
-

GENERAL NOTES: FLOOR PLANS

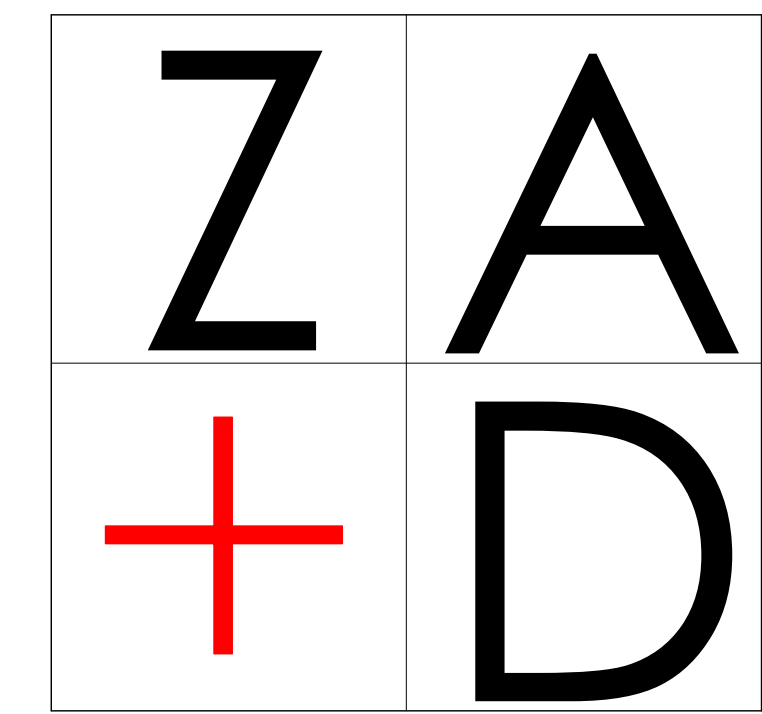
- ALL WORK PERFORMED SHALL COMPLY WITH CURRENT UNIFORM BUILDING AND FIRE CODES AND APPLICABLE STATE LAWS AND ORDINANCES AS ADOPTED BY LOCAL AUTHORITIES HAVING JURISDICTION AT THE TIME OF PERMIT ISSUANCE.
- THESE DOCUMENTS ARE INSTRUMENTS OF SERVICE AND THE DESIGNS ARE THE EXCLUSIVE PROPERTY OF (INSERT OWNER NAME). ANY USE OR REPRODUCTION OF THESE DOCUMENTS, INCLUDING DESIGN CONCEPTS AND IDEAS, IS PROHIBITED EXCEPT BY PRIOR WRITTEN PERMISSION OF (INSERT OWNER NAME). THESE DOCUMENTS ARE NOT FINAL, VALID AND READY FOR USE UNLESS SEALED, SIGNED AND DATED. ALL CONSTRUCTION COMPLETED AS A RESULT OF VALID DOCUMENTS IS ALSO PROTECTED BY COPYRIGHT AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN PERMISSION OF THE ARCHITECT. COPYRIGHT 2015.
- ALL PLAN DIMENSIONS INDICATED ARE FROM FACE OF STUD TO FACE OF STUD U.N.O. IN THE EVENT OF A DIMENSION DISCREPANCY BETWEEN THESE DOCUMENTS AND FIELD DIMENSIONS, NOTIFY ARCHITECT IMMEDIATELY.
- ALL NEW DOOR FRAMES TO BE SET 4" FROM ADJACENT WALL, U.N.O.
- GC TO PATCH AND REPAIR ALL WALLS THAT ARE DAMAGED DURING DEMOLITION. DRYWALL FINISH SHALL BE LEVEL ____ U.N.O.
-

GENERAL NOTES: DEMOLITION

SCALE: 1/4" = 1'-0"

GENERAL NOTES: FLOOR PLANS

SCALE: 1/4" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

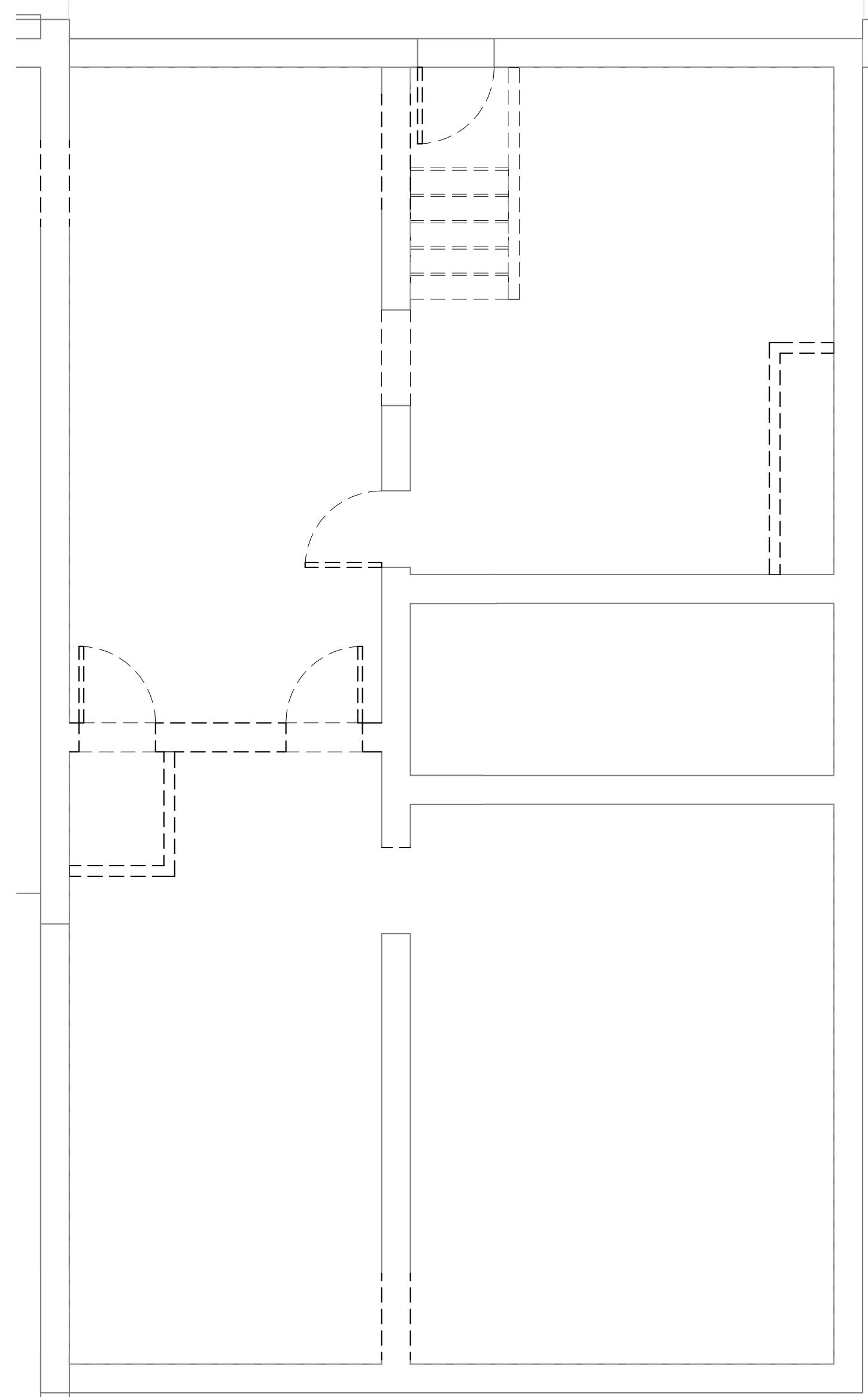
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ENLARGED UNIT PLANS - UNIT TYPE 15 ACC

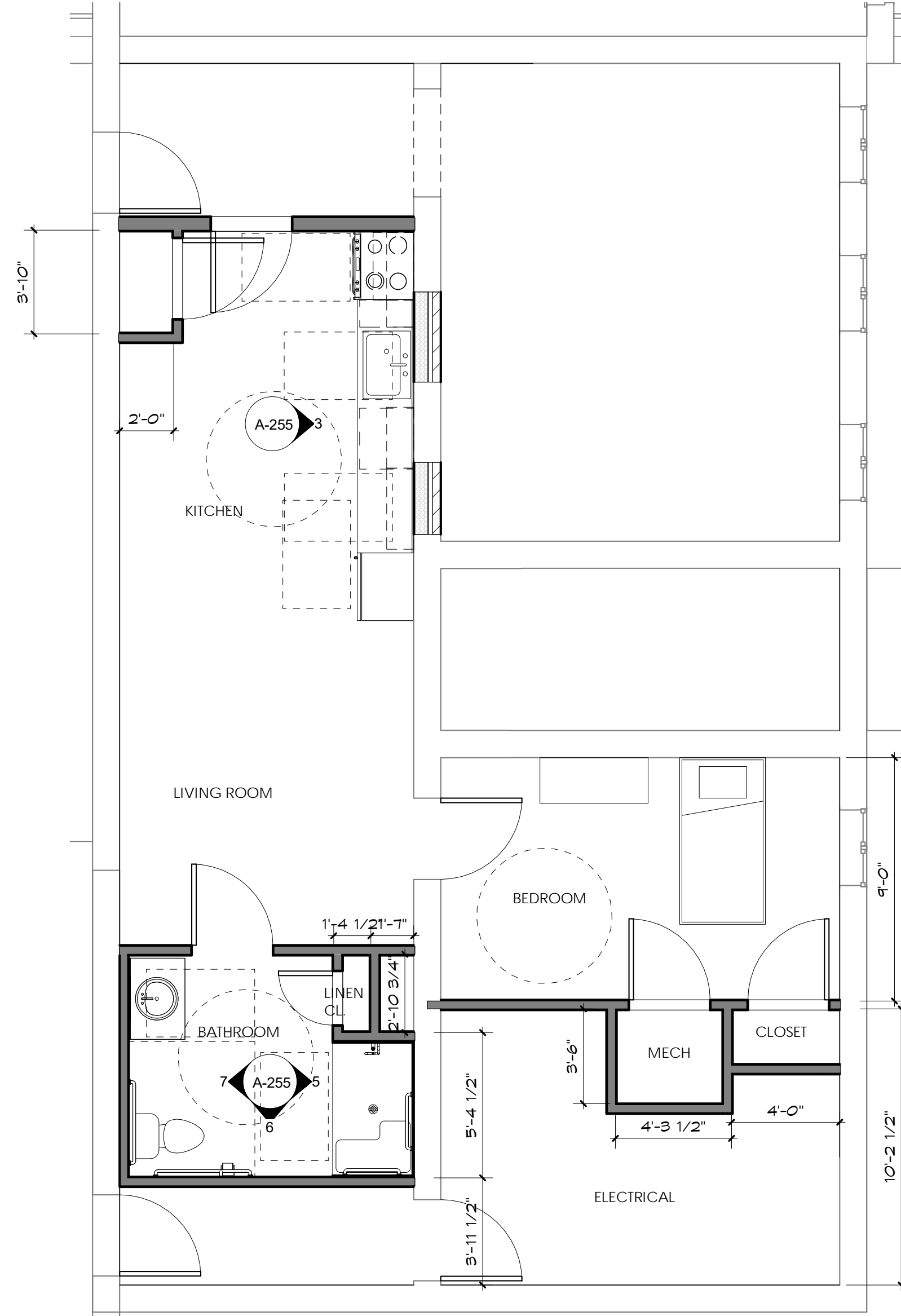
JOB NUMBER: 18204
 DRAWING NUMBER:

A-255

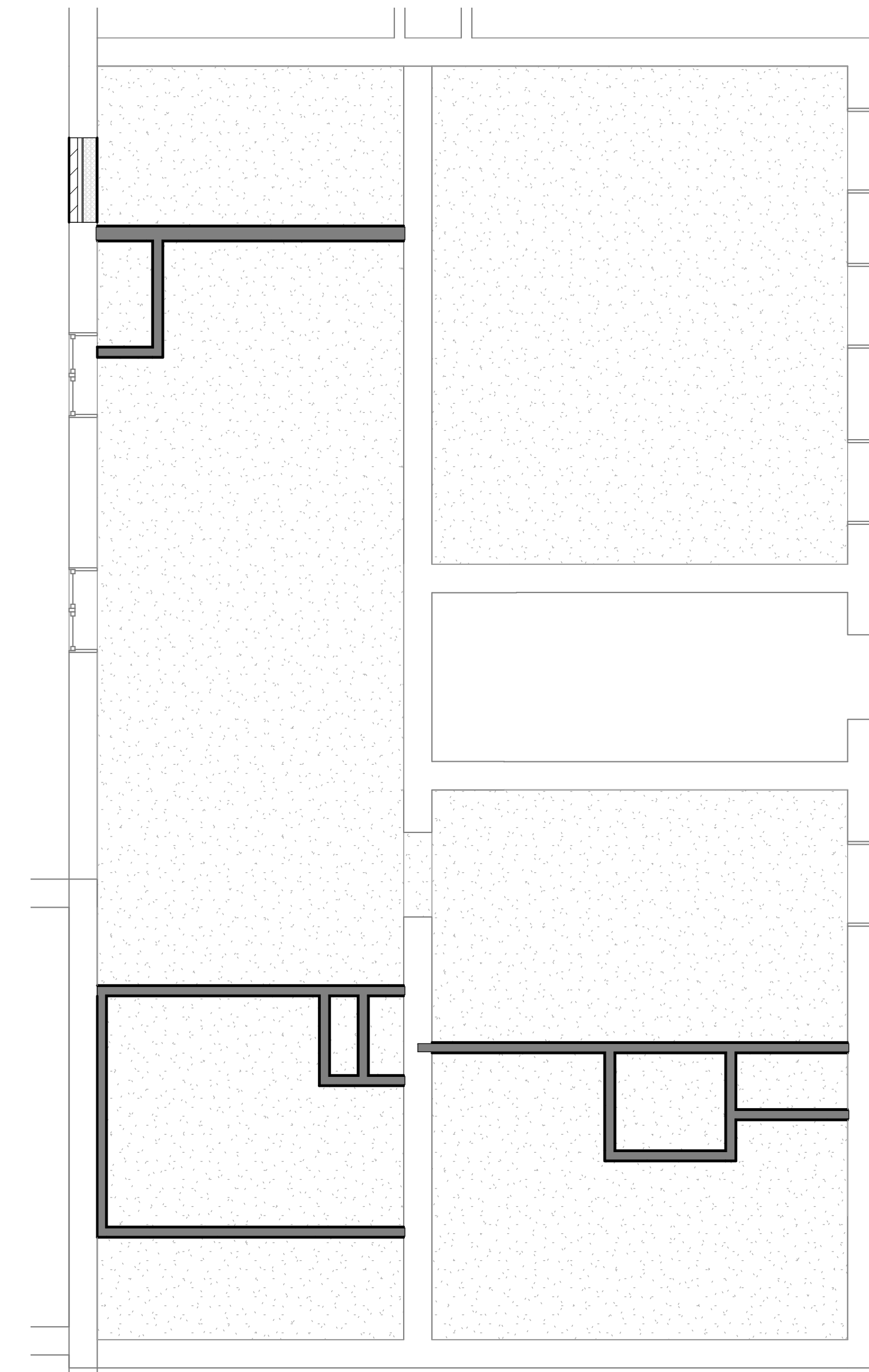
323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com



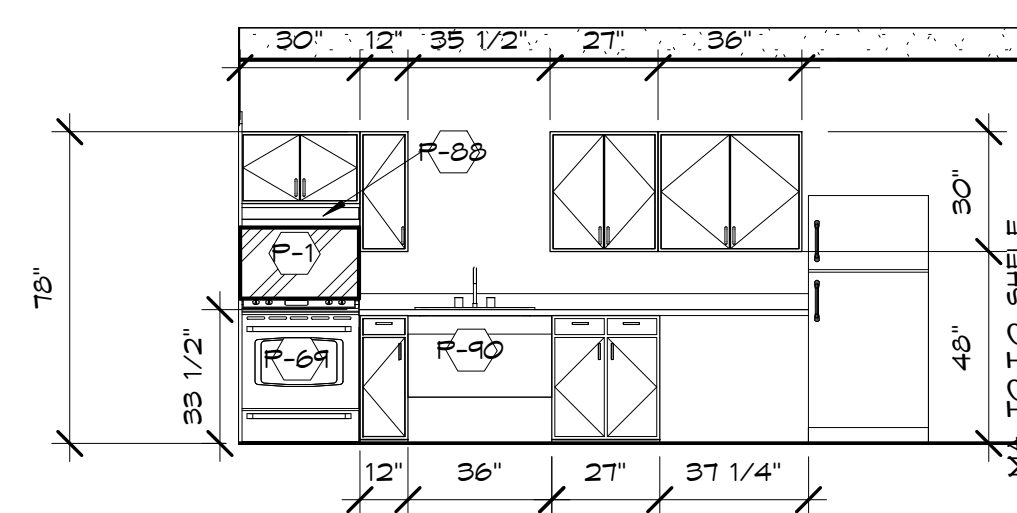
1 ENLARGED PLAN - UNIT TYPE 15 - DEMOLITION
 SCALE: 1/4" = 1'-0"



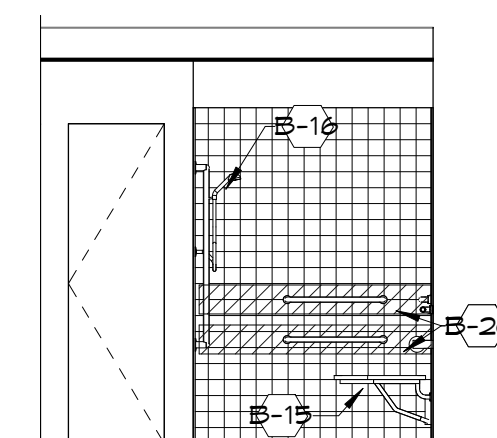
2 ENLARGED PLAN - UNIT TYPE 15 - NEW WORK
 SCALE: 1/4" = 1'-0"



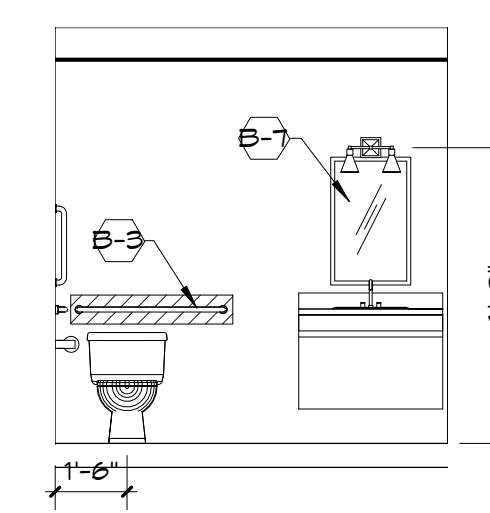
8 ENLARGED PLAN - UNIT TYPE 15 - RCP
 SCALE: 1/4" = 1'-0"



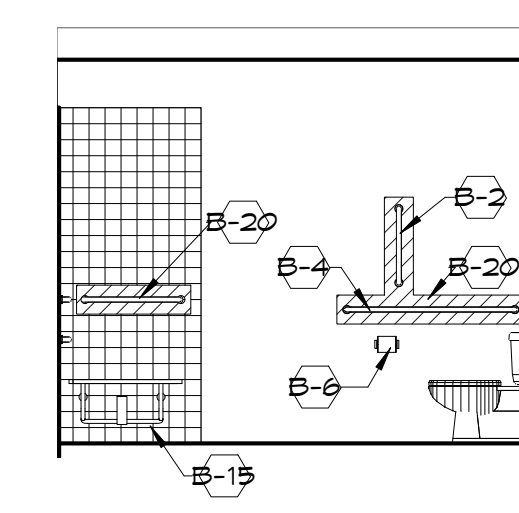
3 UNIT TYPE 15 - KITCHEN ELEV 1
 SCALE: 1/4" = 1'-0"



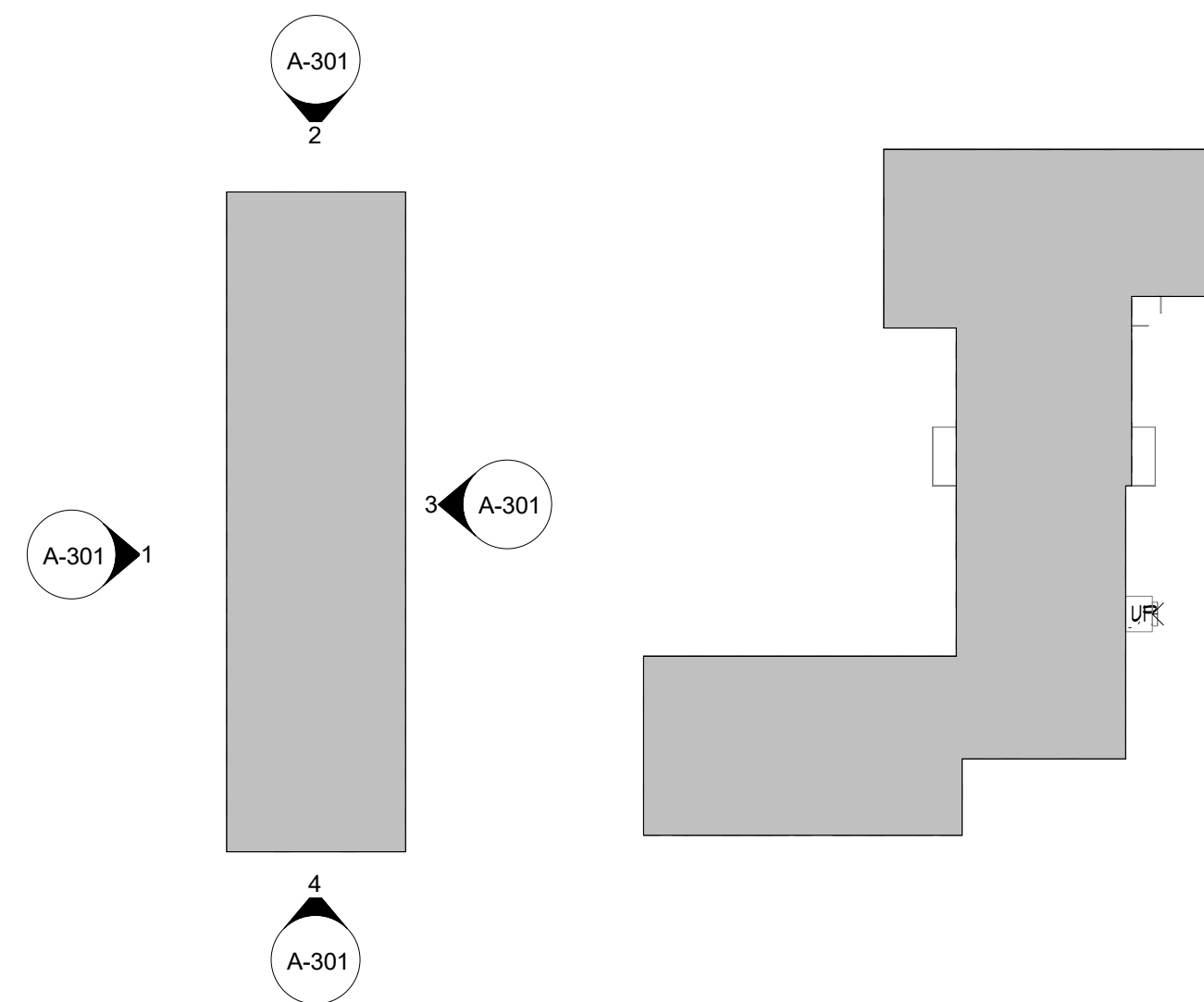
5 UNIT TYPE 15 - BATHROOM ELEV 1
 SCALE: 1/4" = 1'-0"



7 UNIT TYPE 15 - BATHROOM ELEV 2
 SCALE: 1/4" = 1'-0"



6 UNIT TYPE 15 - BATHROOM ELEV 3
 SCALE: 1/4" = 1'-0"



5 ELEVATION KEY PLAN
A-301 SCALE: 1" = 30'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

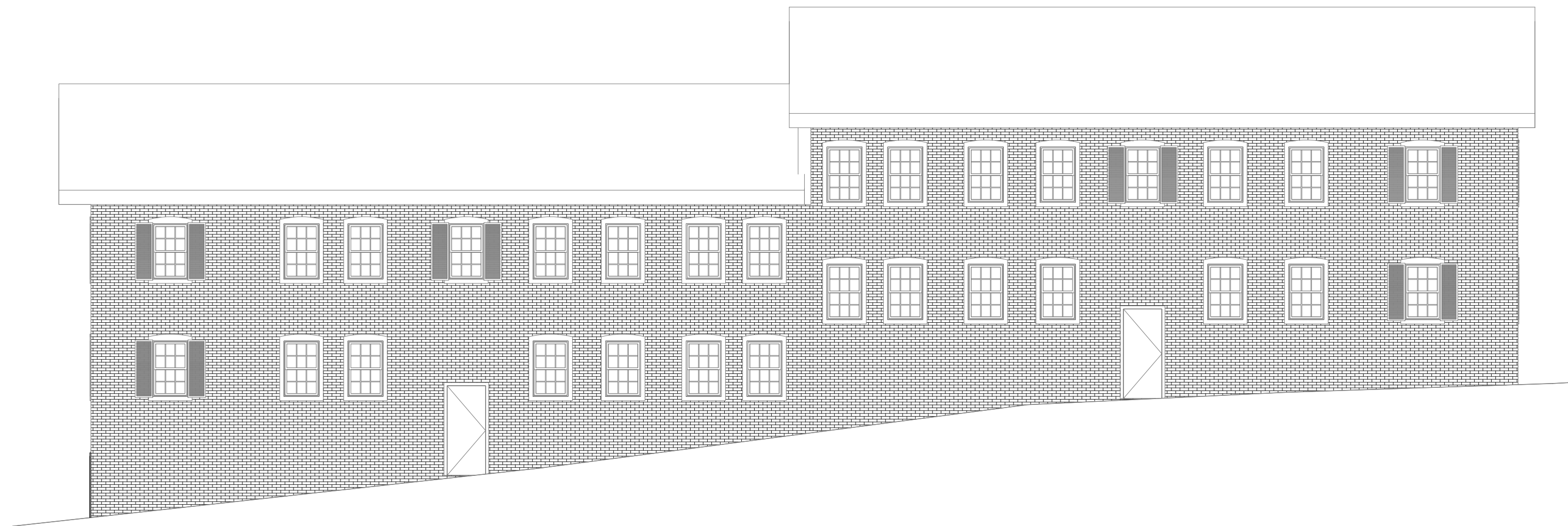
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW, SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

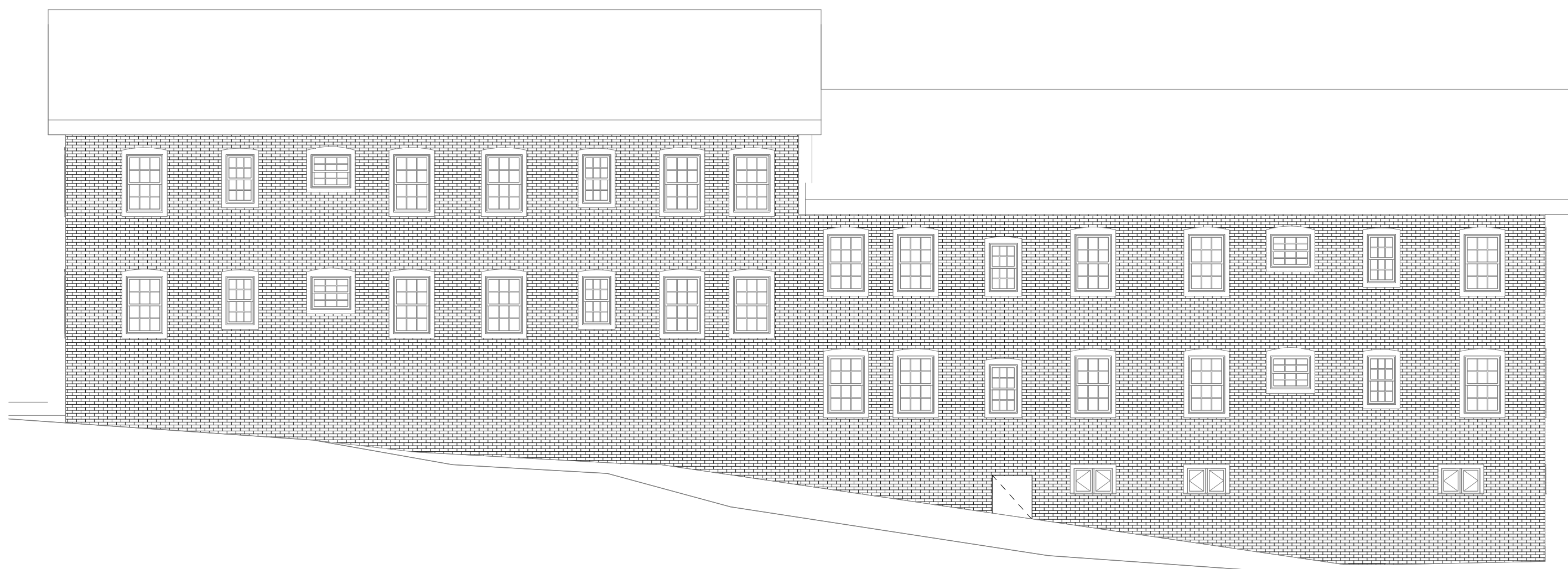
GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD, REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
9. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

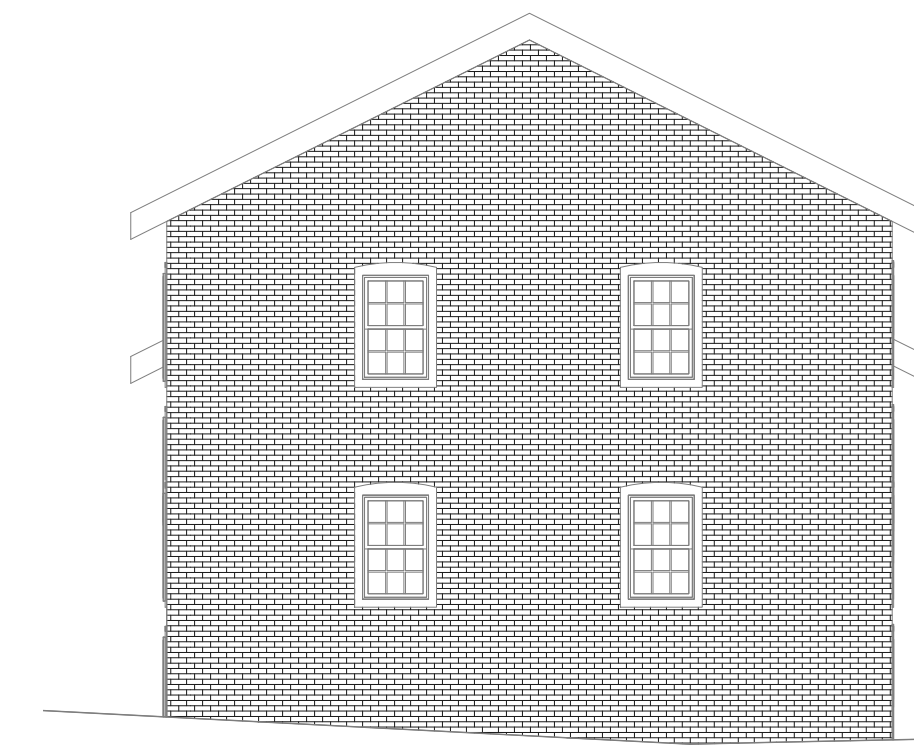
GENERAL NOTES: DEMOLITION



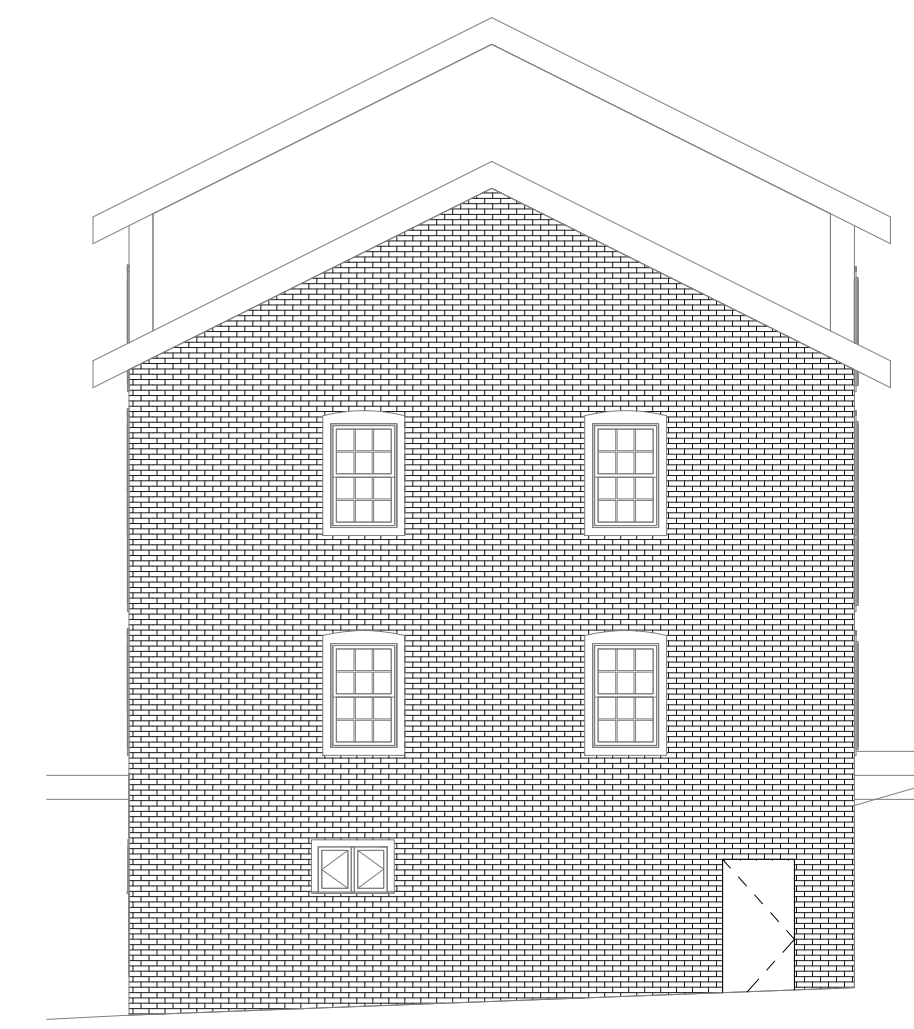
1 BUILDING I - SOUTH ELEVATION
A-301 SCALE: 1/8" = 1'-0"



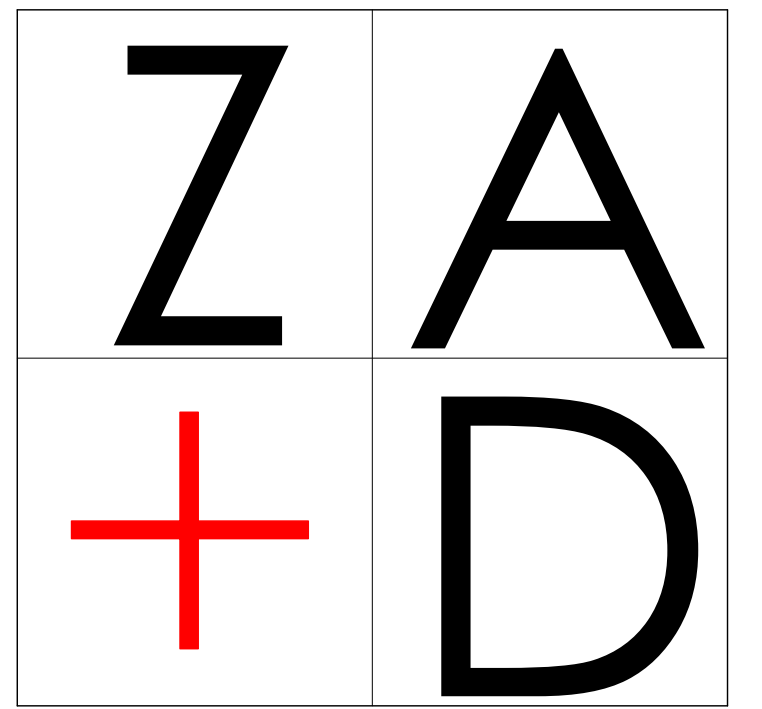
3 BUILDING I - NORTH ELEVATION
A-301 SCALE: 1/8" = 1'-0"



4 BUILDING I - EAST ELEVATION
A-301 SCALE: 1/8" = 1'-0"



2 BUILDING I - WEST ELEVATION
A-301 SCALE: 1/8" = 1'-0"



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____

WHITEFIELD COMMONS

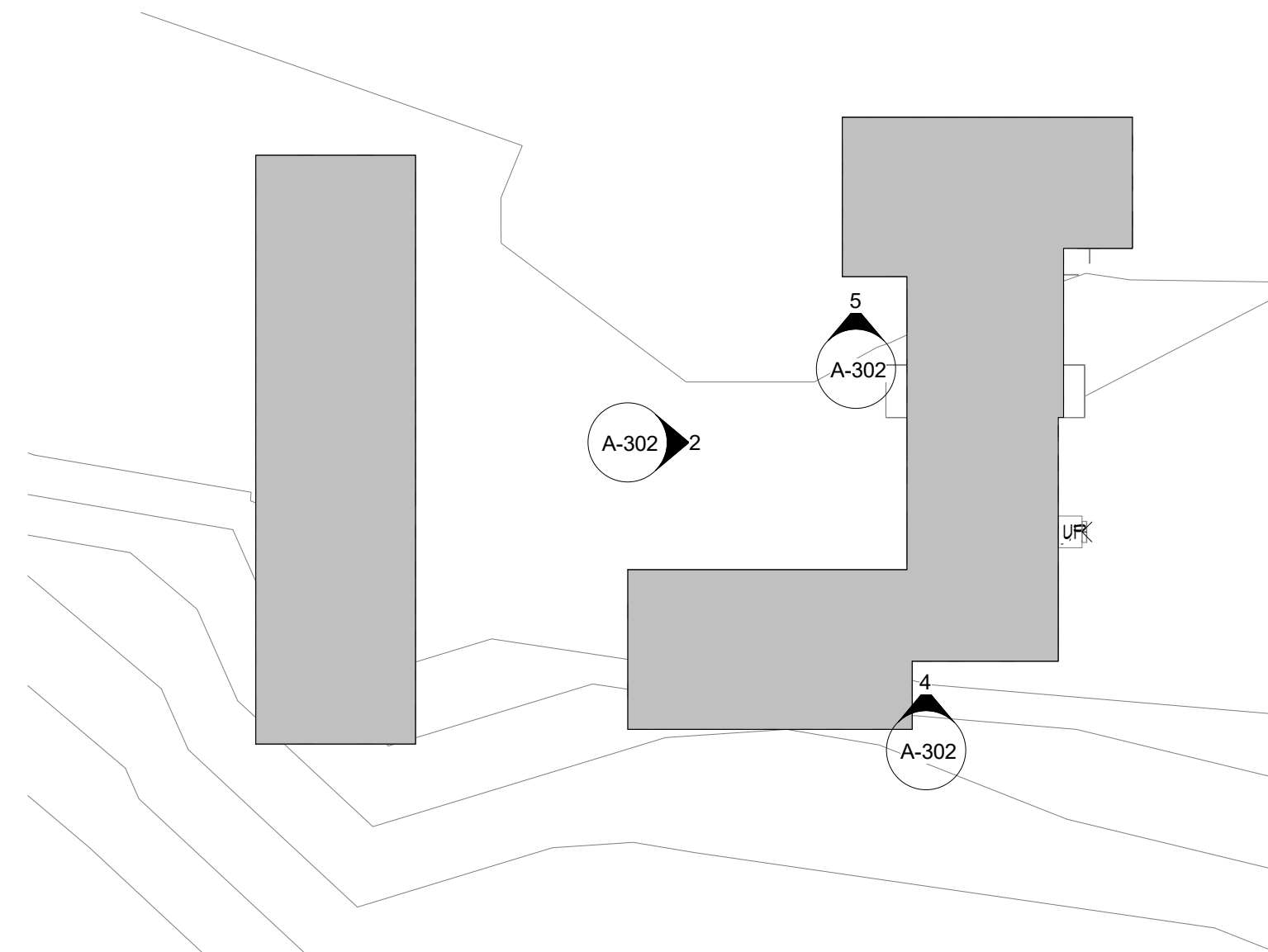
PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ELEVATIONS - BUILDING I

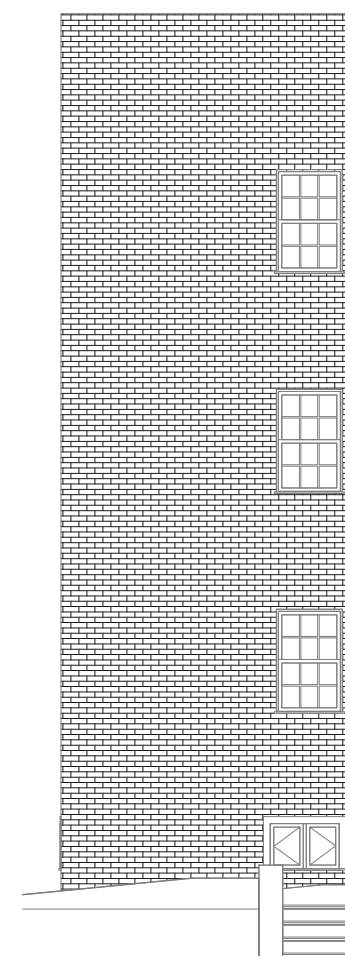
JOB NUMBER: 18204
DRAWING NUMBER:

A-301

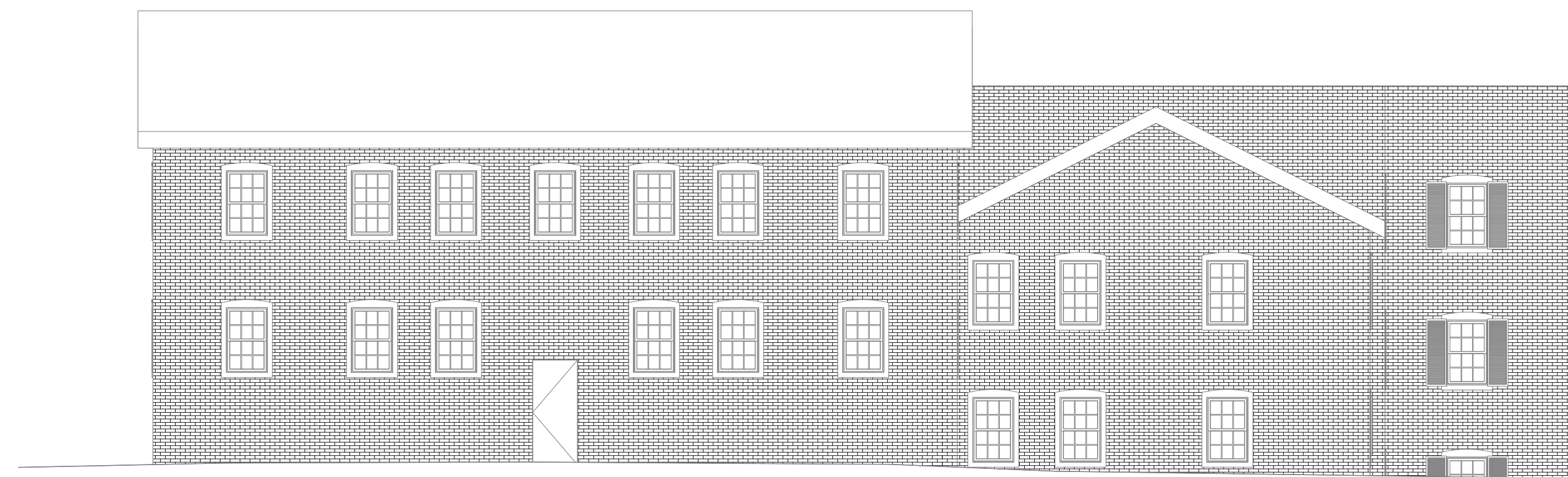
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



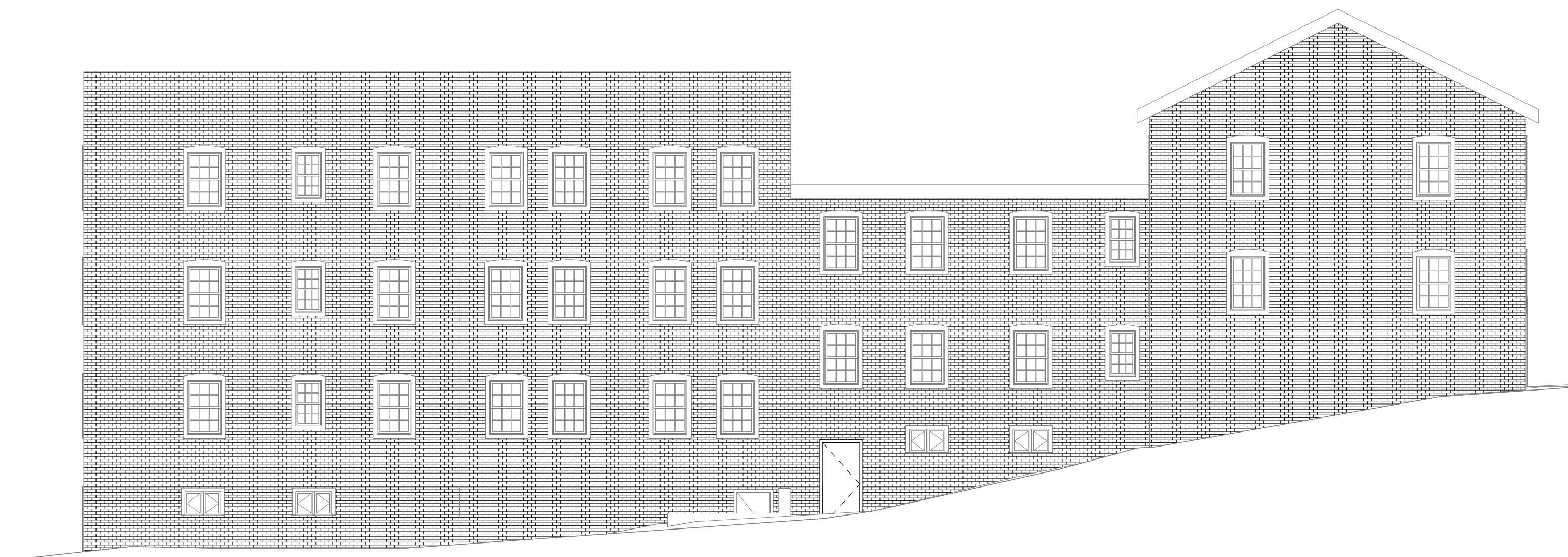
1 ELEVATION KEY PLAN Copy 1
A-302 SCALE: 1" = 30'-0"



5 BUILDING II - NE ELEVATION 2
A-302 SCALE: 1/8" = 1'-0"



4 BUILDING II - NE ELEVATION 1
A-302 SCALE: 1/8" = 1'-0"



2 BUILDING II - SE ELEVATION
A-302 SCALE: 1/8" = 1'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

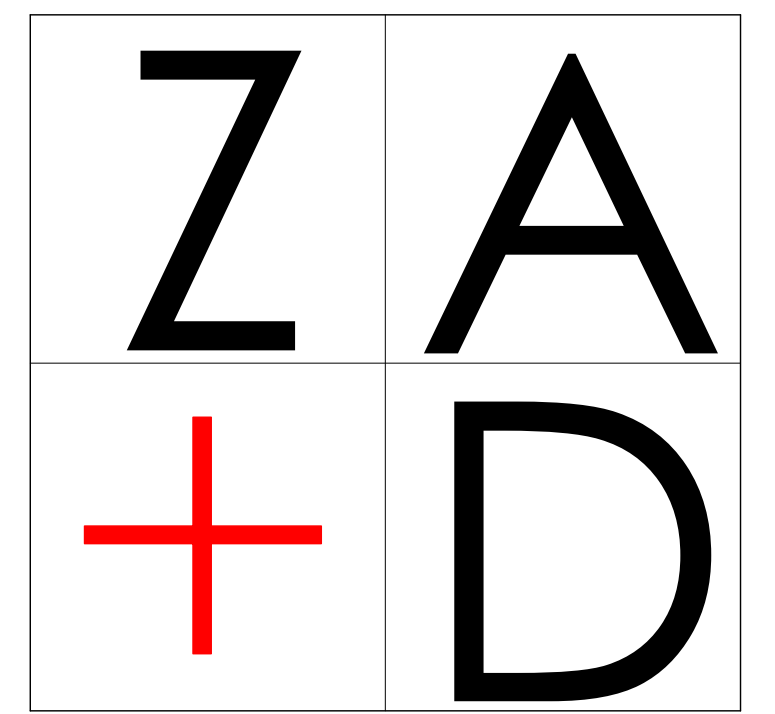
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS.
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW. SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
9. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW		
SD REVIEWER INITIALS	_____	DATE: _____
DD REVIEWER INITIALS	_____	DATE: _____
CD REVIEWER INITIALS	_____	DATE: _____

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NUMBER 15522 EXPIRATION DATE 10/22/12

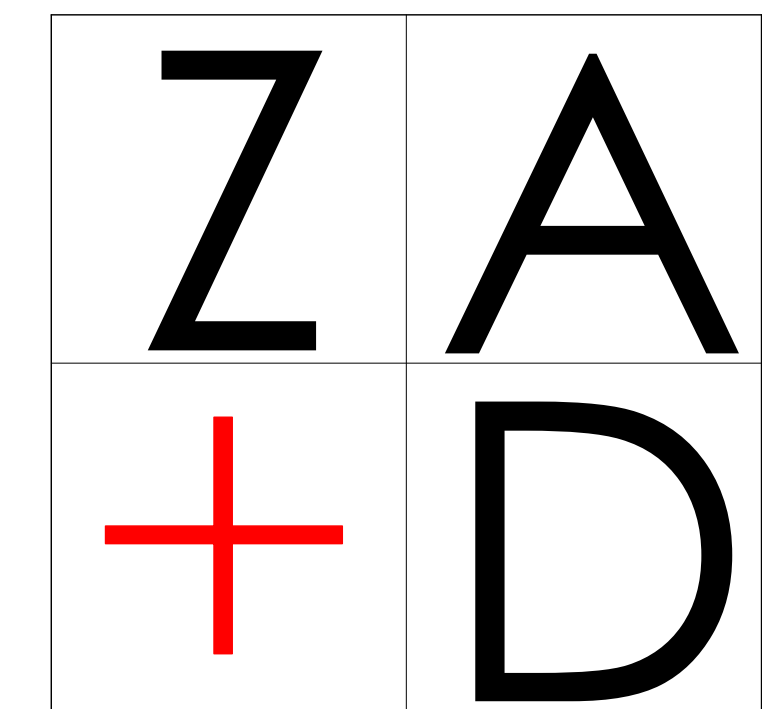
WHITEFIELD COMMONS

PROJECT ADDRESS:
106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
ELEVATIONS - BUILDING II

JOB NUMBER: 18204
DRAWING NUMBER:

A-302
323 WEST PATRICK ST.
FREDERICK, MD 21701
P.301.698.0020 F.301.698.0920
www.za-d.com



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE:	_____
DD REVIEWER INITIALS	_____	DATE:	_____
CD REVIEWER INITIALS	_____	DATE:	_____

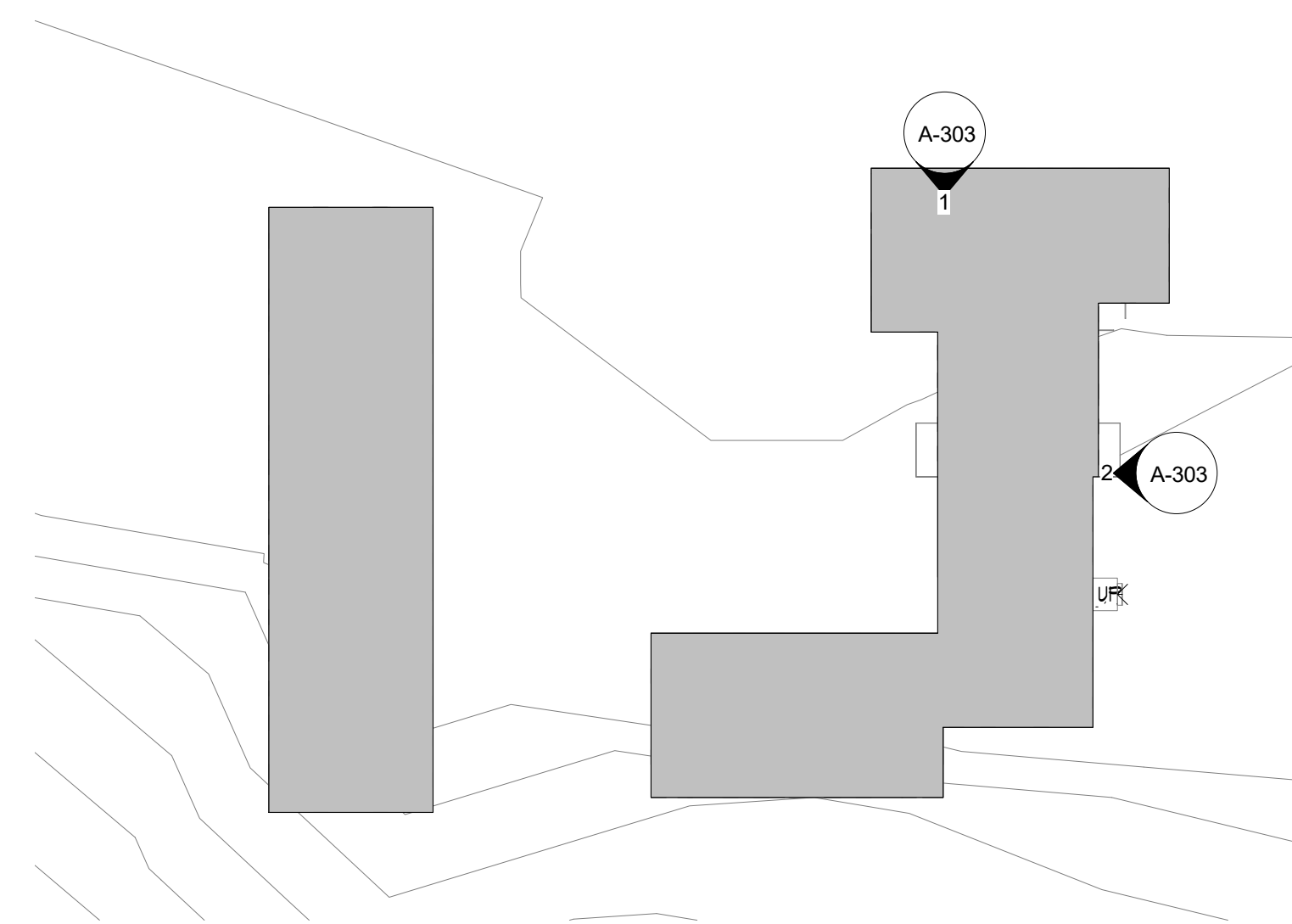
WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ELEVATIONS - BUILDING II

JOB NUMBER: 18204
 DRAWING NUMBER:

A-303
 323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



3 ELEVATION KEY PLAN Copy 1 Copy 1
 A-303 SCALE: 1" = 30'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

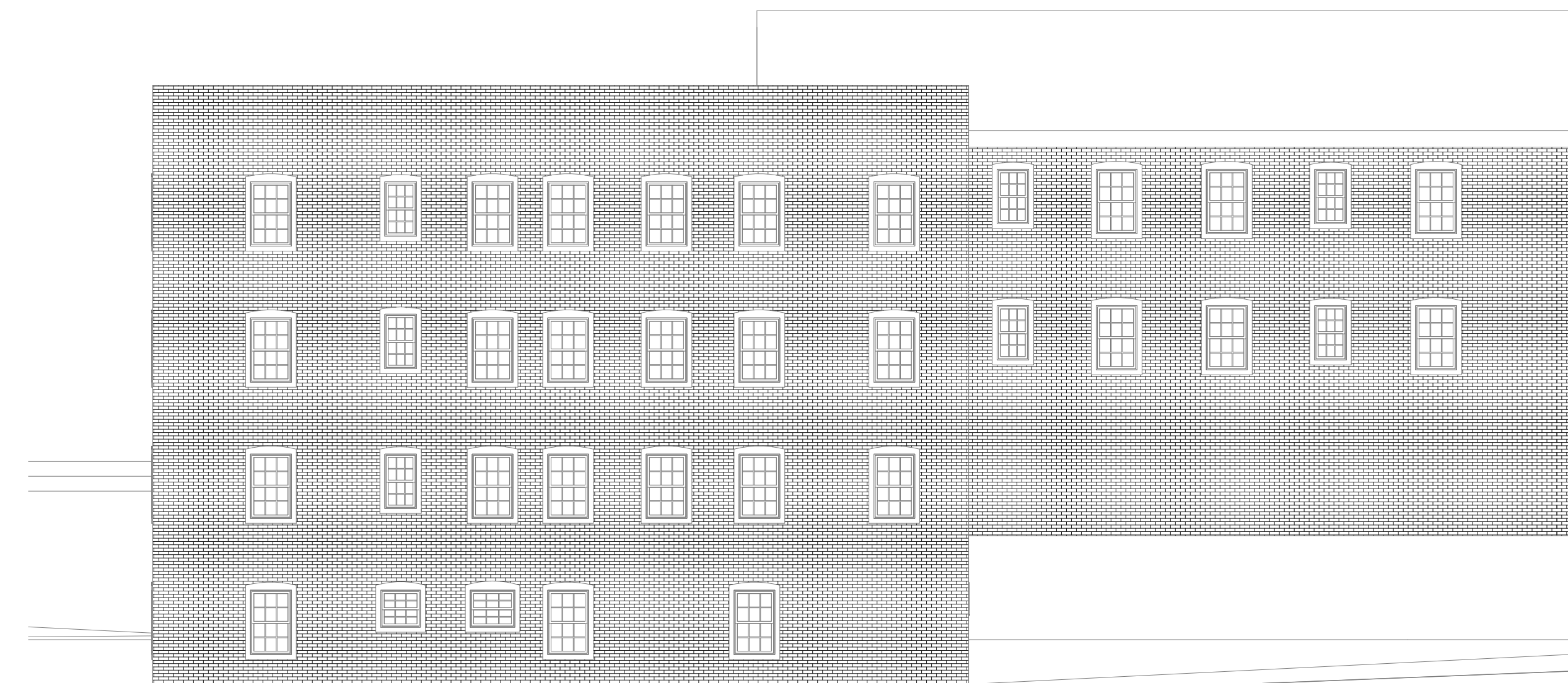
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS.
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW. SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

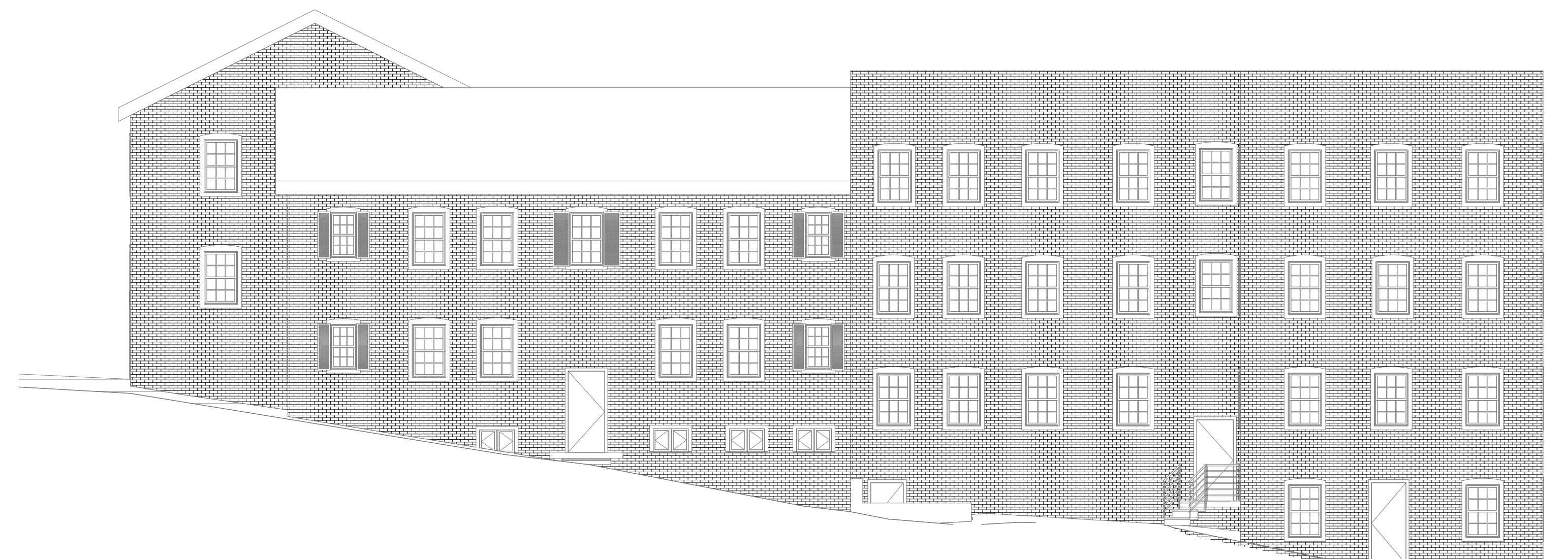
GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

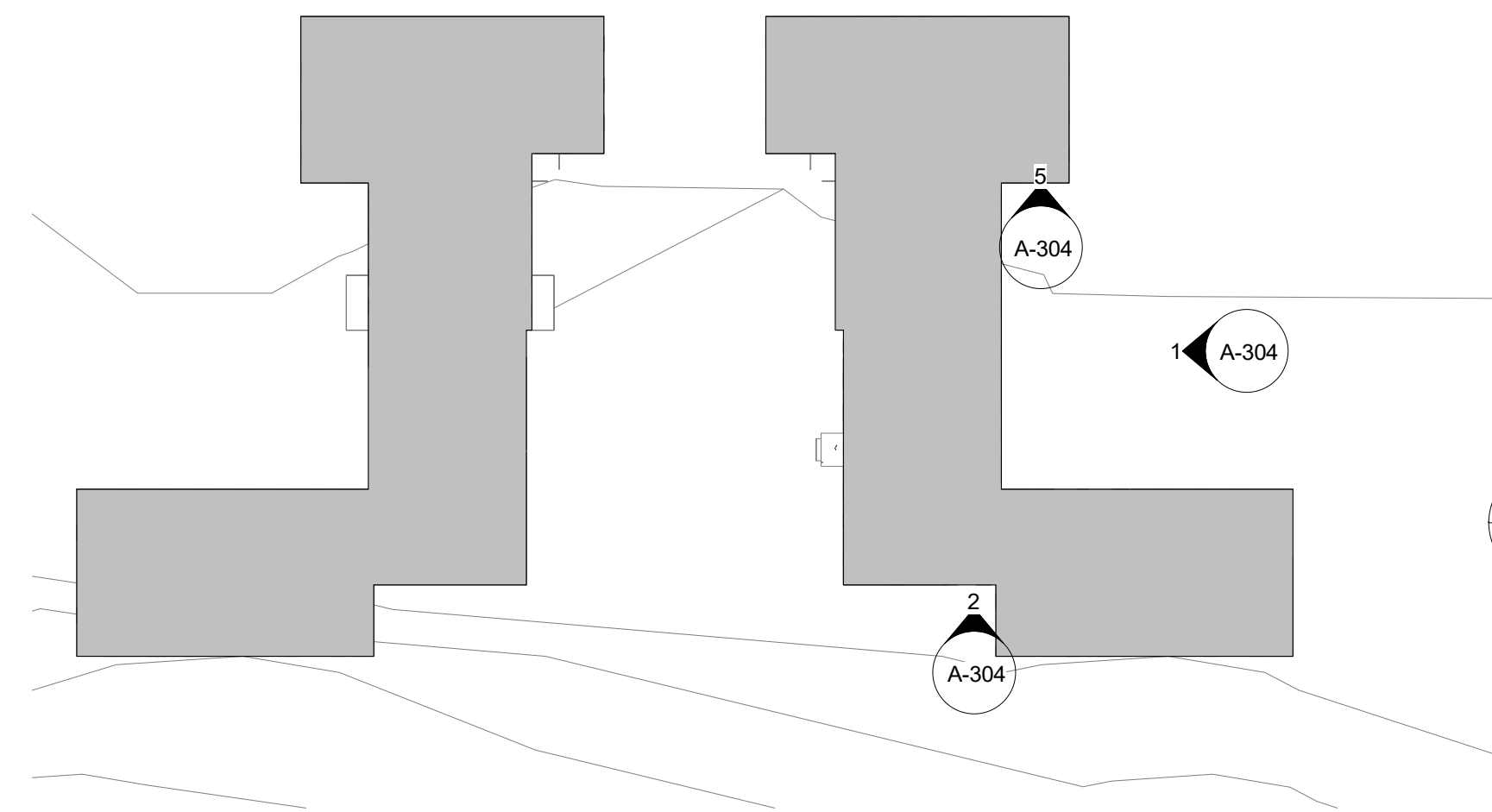
GENERAL NOTES: DEMOLITION



1 BUILDING II - SW ELEVATION
 A-303 SCALE: 1/8" = 1'-0"



2 BUILDING II - NW ELEVATION
 A-303 SCALE: 1/8" = 1'-0"



3 ELEVATION KEY PLAN Copy 1 Copy 1 Copy 1
 A-304 SCALE: 1" = 30'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

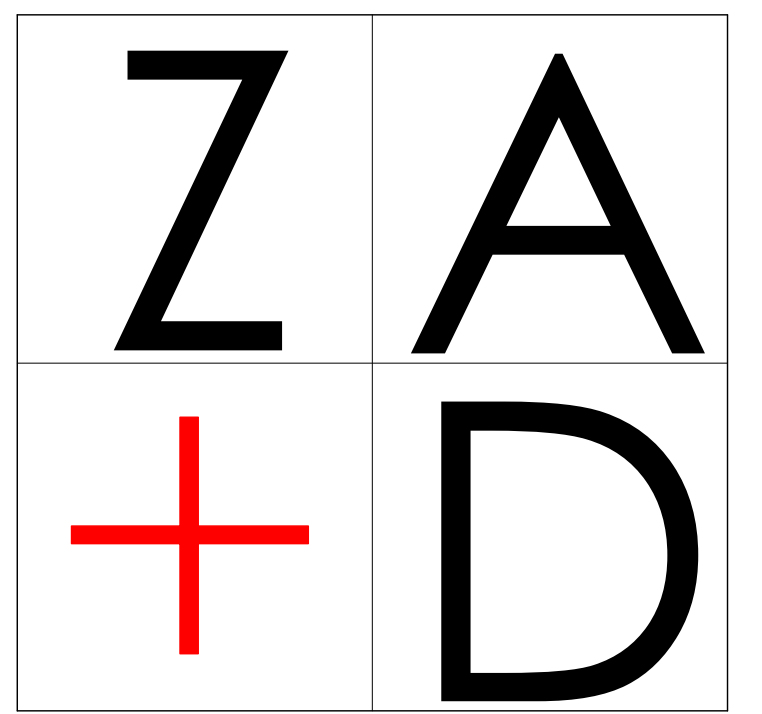
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS.
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW, SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

GENERAL NOTES: DEMOLITION

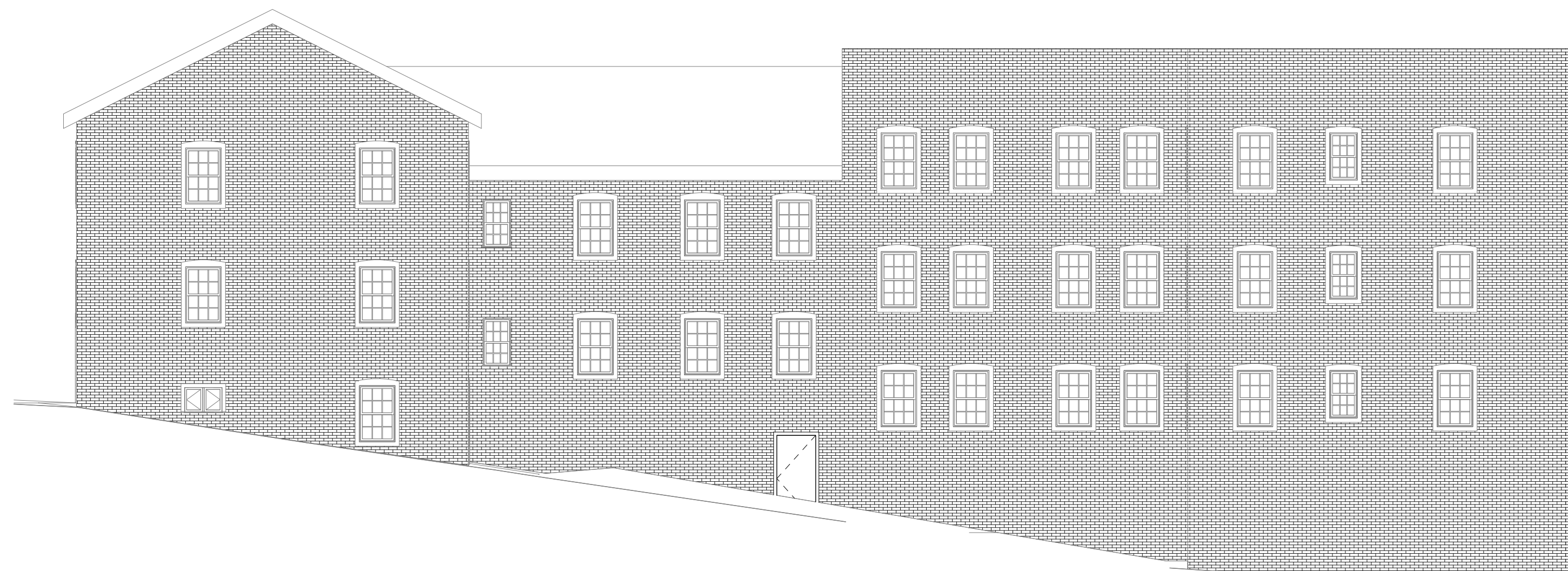
1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
10. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

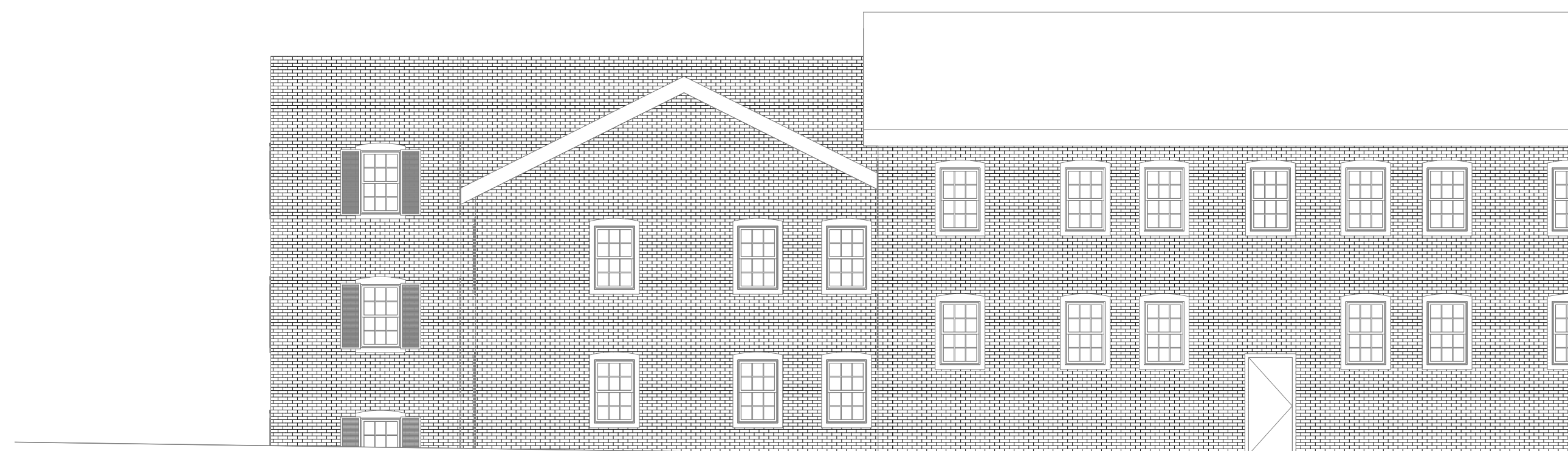


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

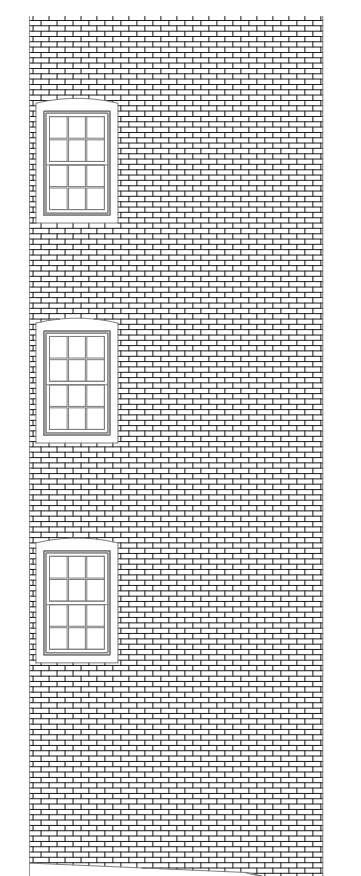
PRINTS ISSUED		
NO.	DESCRIPTION	DATE



1 BUILDING III - NW ELEVATION
 A-304 SCALE: 1/8" = 1'-0"



2 BUILDING III - NE ELEVATION 1
 A-304 SCALE: 1/8" = 1'-0"



5 BUILDING III - NE ELEVATION 2
 A-304 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	_____	DATE:	_____
DD REVIEWER INITIALS	_____	DATE:	_____
CD REVIEWER INITIALS	_____	DATE:	_____

WHITEFIELD COMMONS

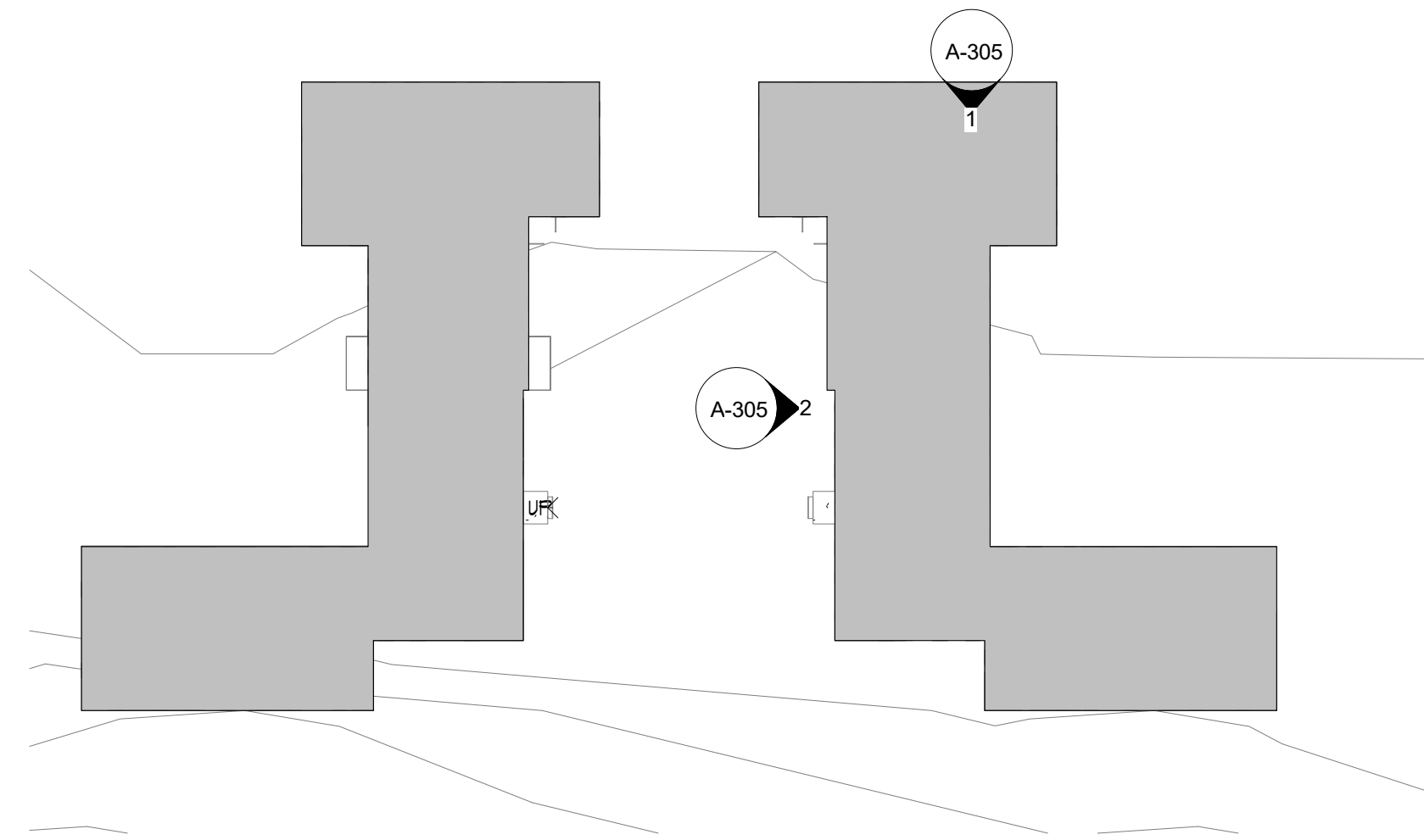
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ELEVATIONS - BUILDING III

JOB NUMBER: 18204
 DRAWING NUMBER:

A-304

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

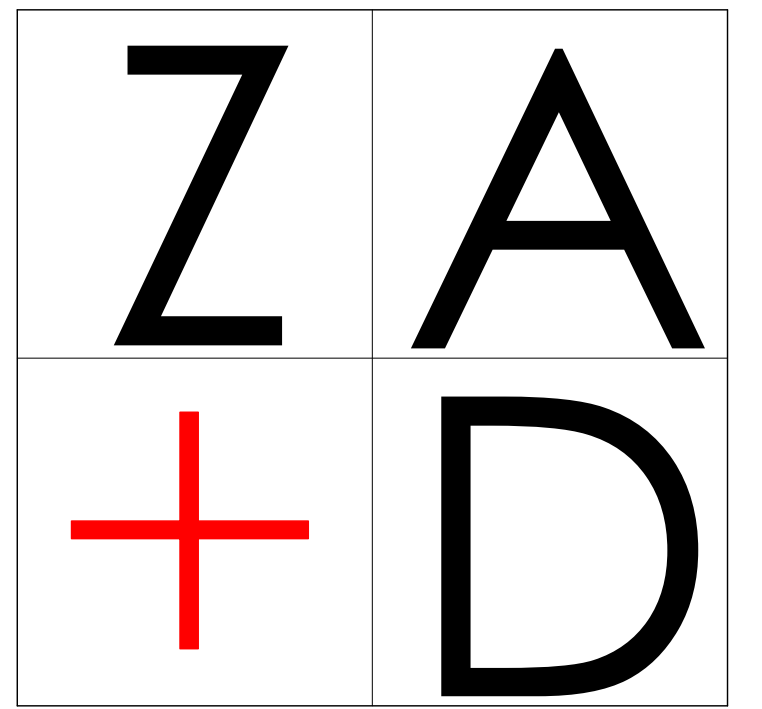
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW. SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION.
6. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
7. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
8. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
9. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.
- 10.

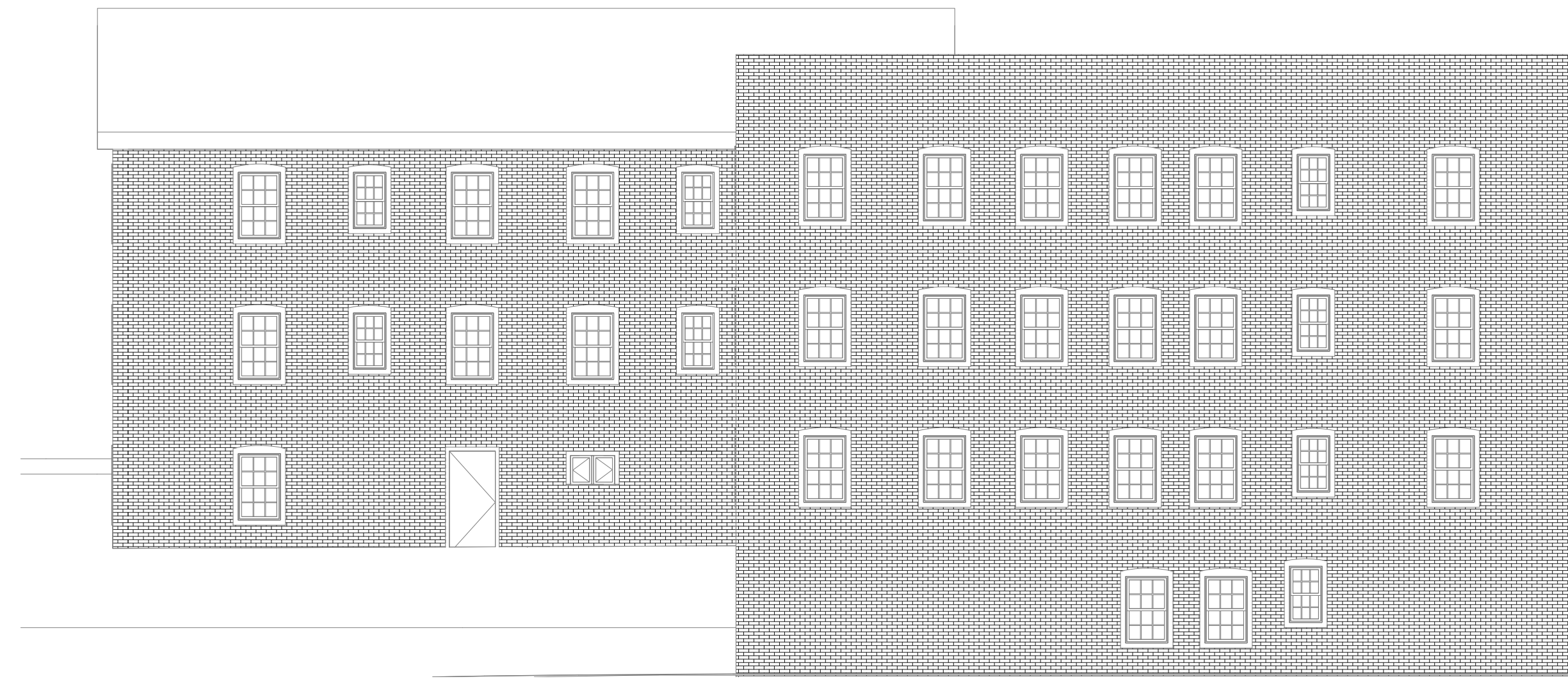
GENERAL NOTES: DEMOLITION



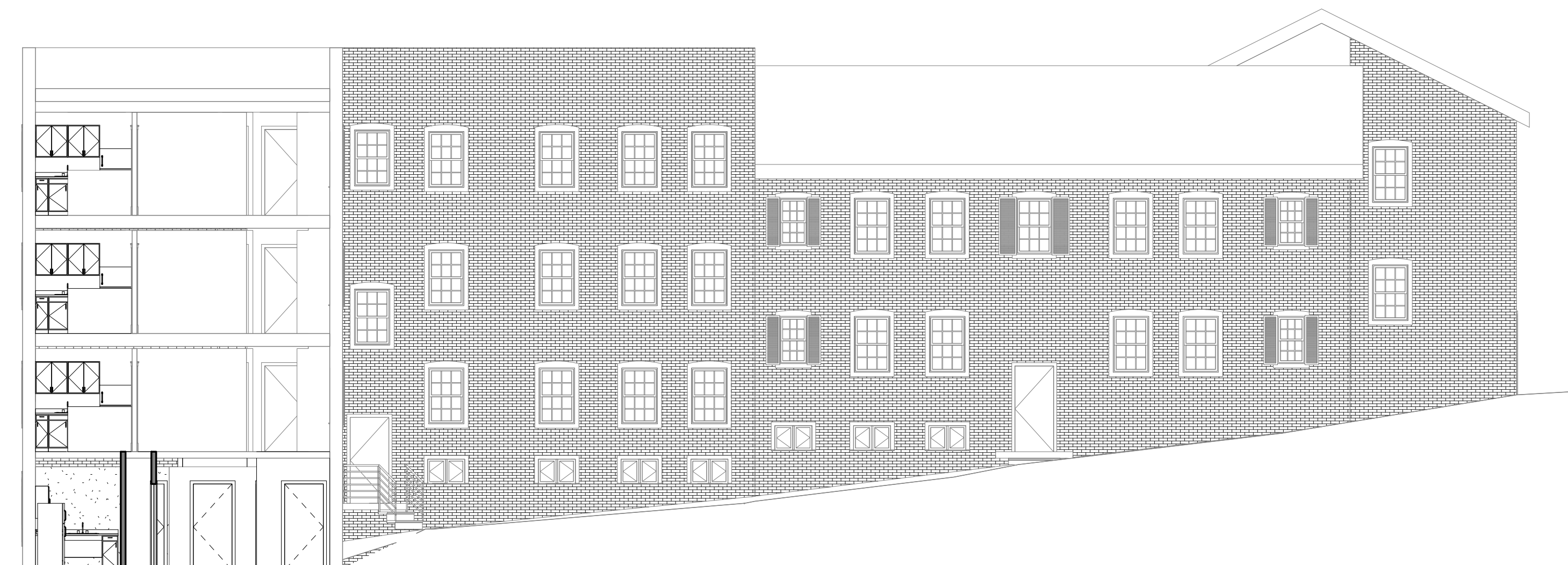
ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

3 ELEVATION KEY PLAN Copy 1 Copy 1 Copy 1 Copy 1
 A-305 SCALE: 1" = 30'-0"



1 BUILDING III - SW ELEVATION
 A-305 SCALE: 1/8" = 1'-0"



2 BUILDING III - SE ELEVATION
 A-305 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW
 SD REVIEWER INITIALS _____ DATE: _____
 DD REVIEWER INITIALS _____ DATE: _____
 CD REVIEWER INITIALS _____ DATE: _____

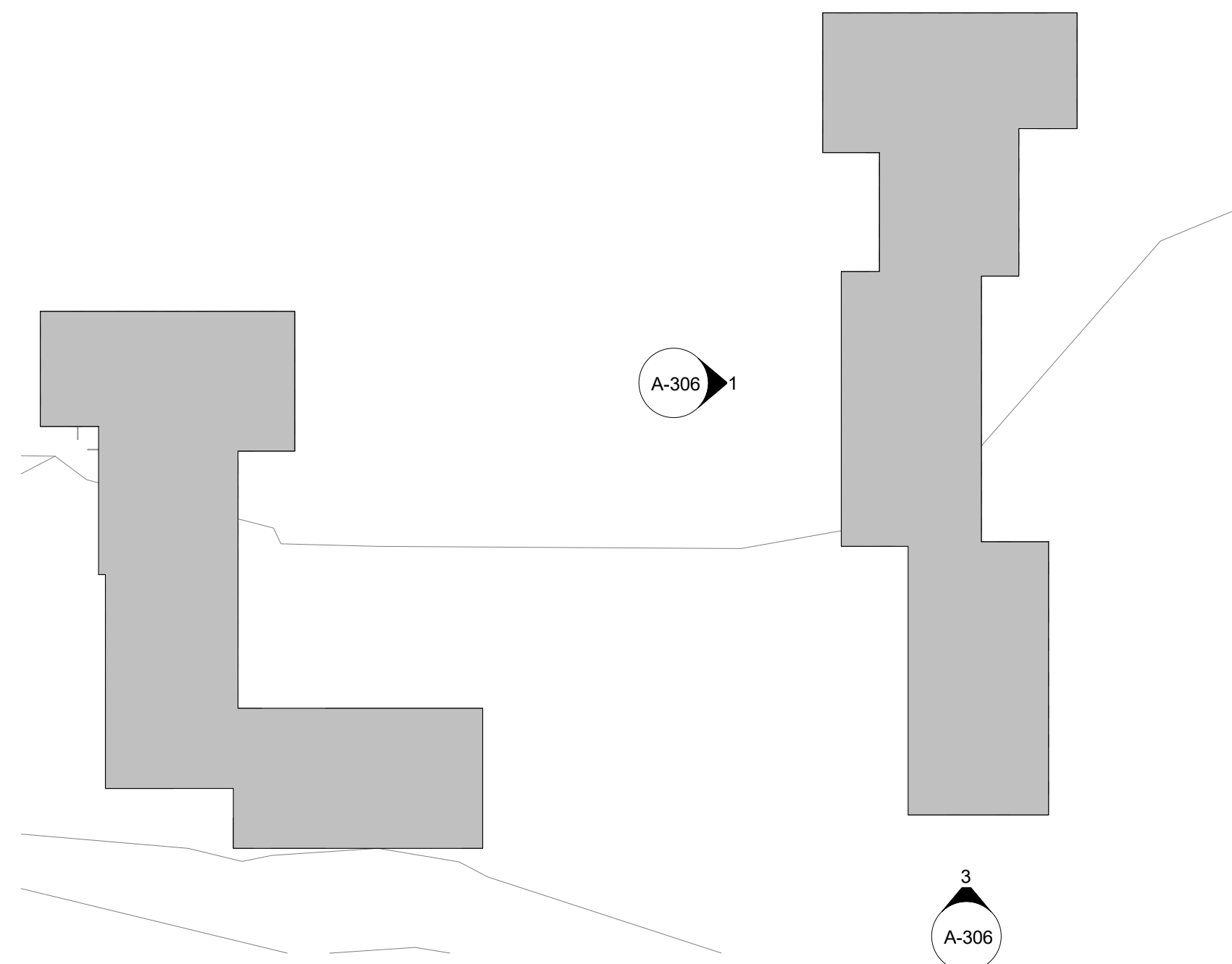
WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ELEVATIONS - BUILDING III

JOB NUMBER: 18204
 DRAWING NUMBER:

A-305
 323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com



GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

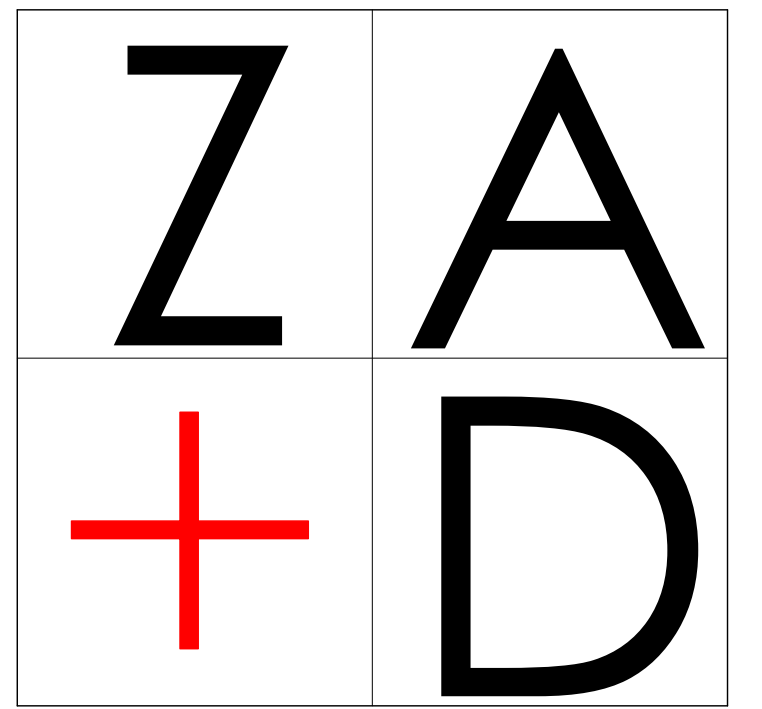
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS.
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW. SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS, GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
6. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD. IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
7. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER, WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION

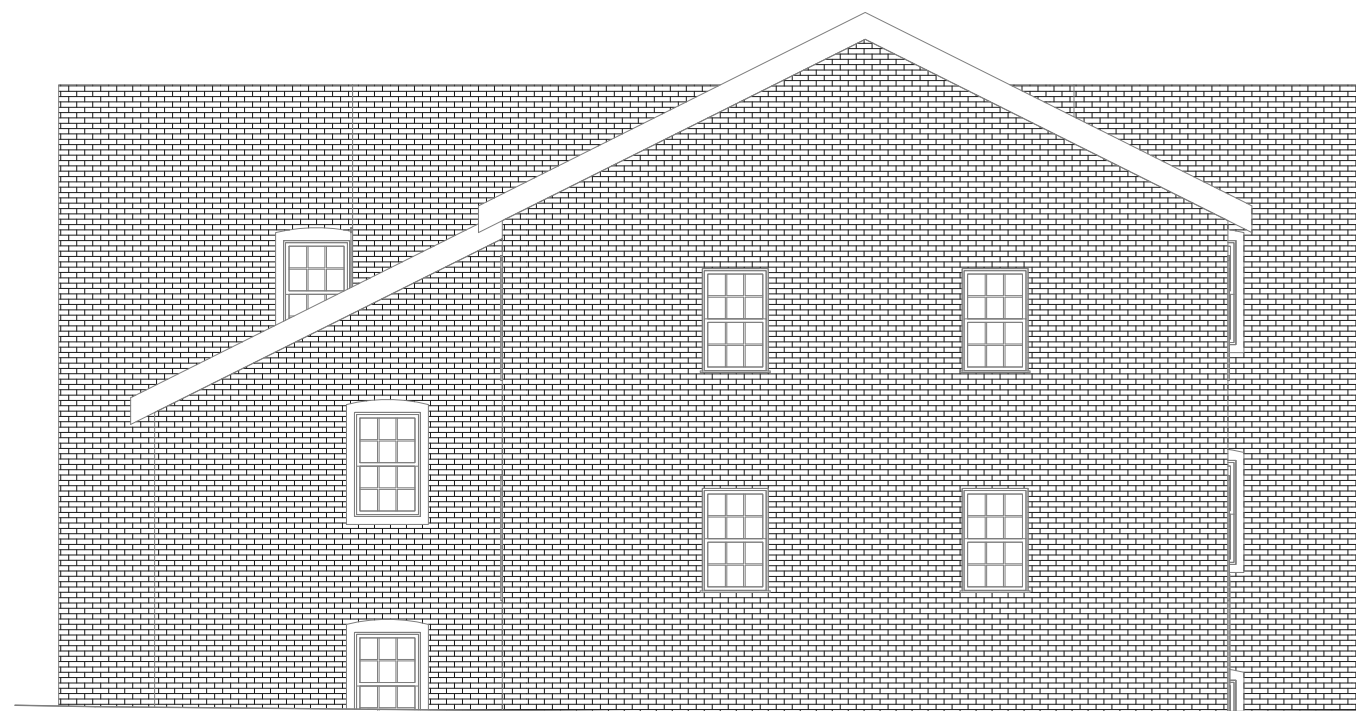


ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE

2 ELEVATION KEY PLAN Copy 1 Copy 1 Copy 1 Copy 1 Copy 1

A-306 SCALE: 1" = 30'-0"



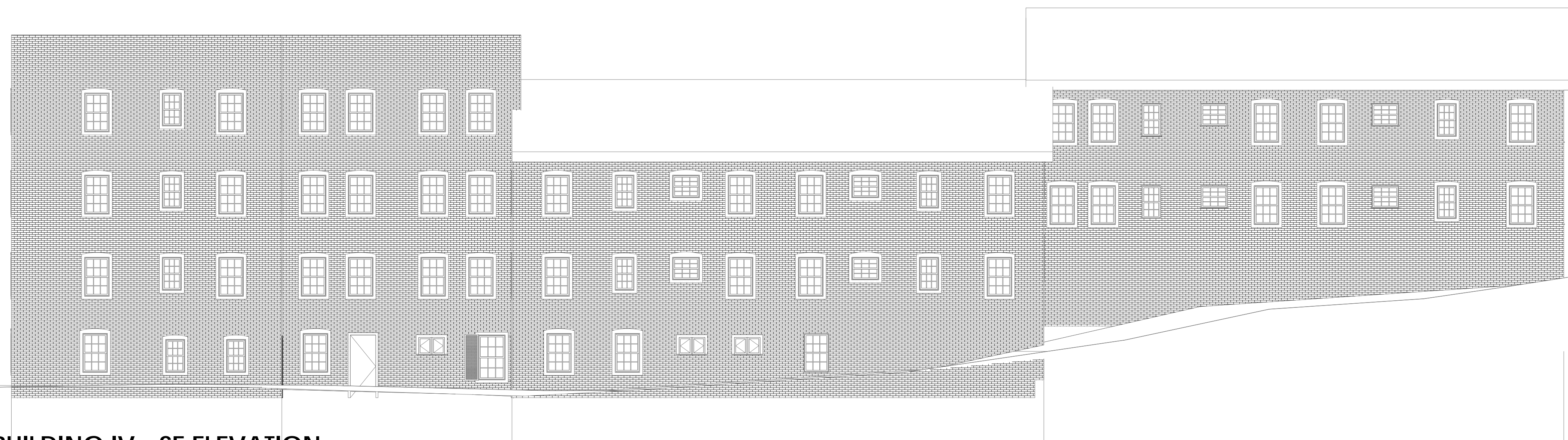
3 BUILDING IV - NE ELEVATION

A-306 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW	
SD REVIEWER INITIALS _____	DATE: _____
DD REVIEWER INITIALS _____	DATE: _____
CD REVIEWER INITIALS _____	DATE: _____



1 BUILDING IV - SE ELEVATION

A-306 SCALE: 1/8" = 1'-0"

WHITEFIELD COMMONS

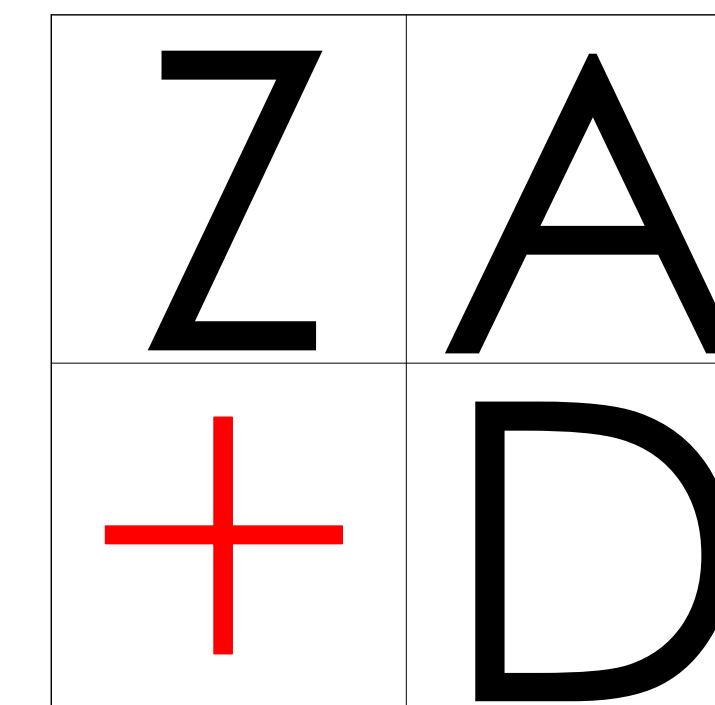
PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ELEVATION - BUILDING IV

JOB NUMBER: 18204
 DRAWING NUMBER:

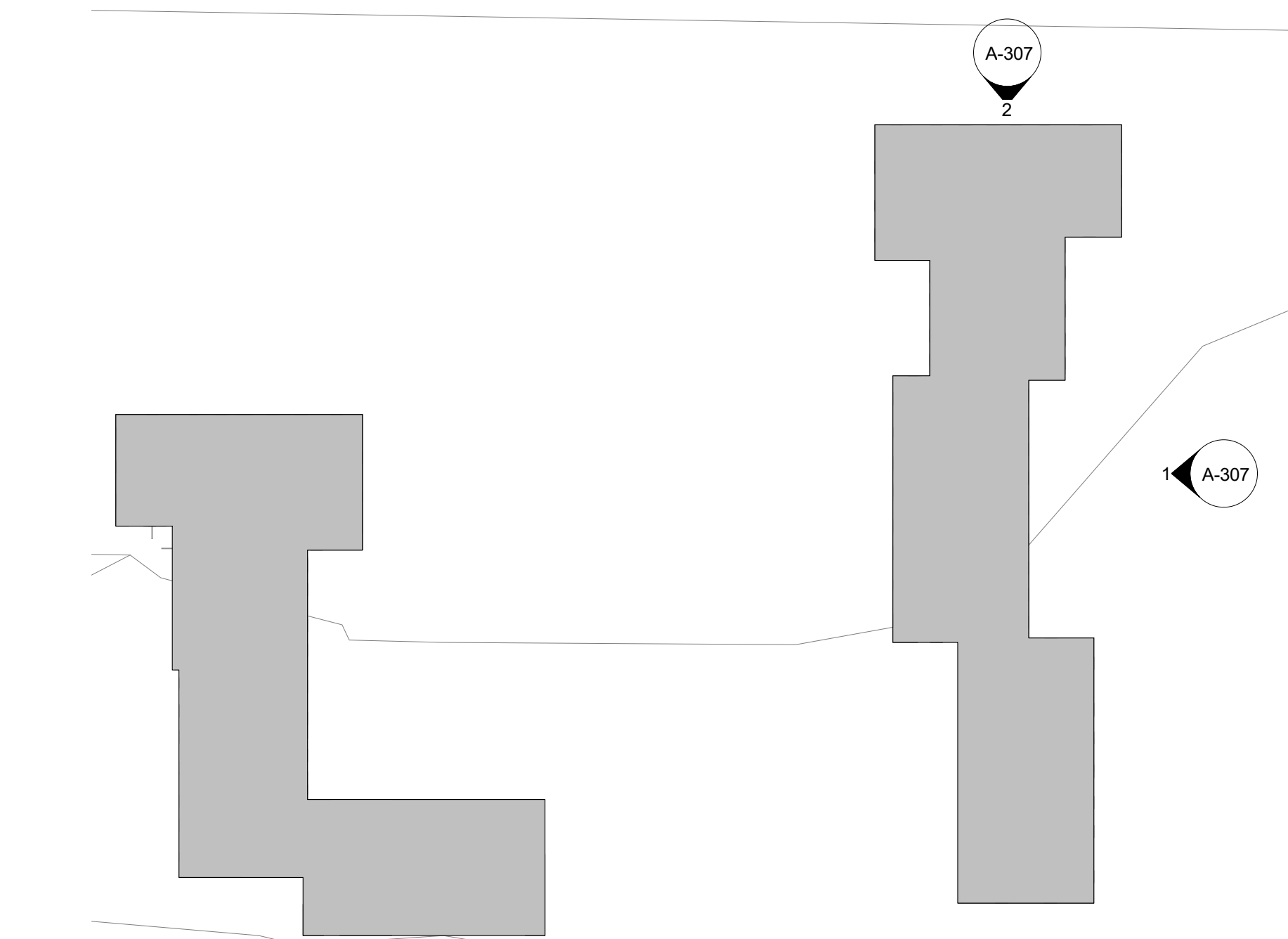
A-306

323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
www.za-d.com



ZA+D design
ZA+D interiors
ZA+D passiv
Redefining the Building Potential

PRINTS ISSUED		
NO.	DESCRIPTION	DATE



3 ELEVATION KEY PLAN Copy 1 Copy 1 Copy 1 Copy 1 Copy 1 Copy 1
 A-307 SCALE: 1" = 30'-0"

GENERAL NOTES: EXTERIOR ELEVATIONS

EXISTING BUILDING:

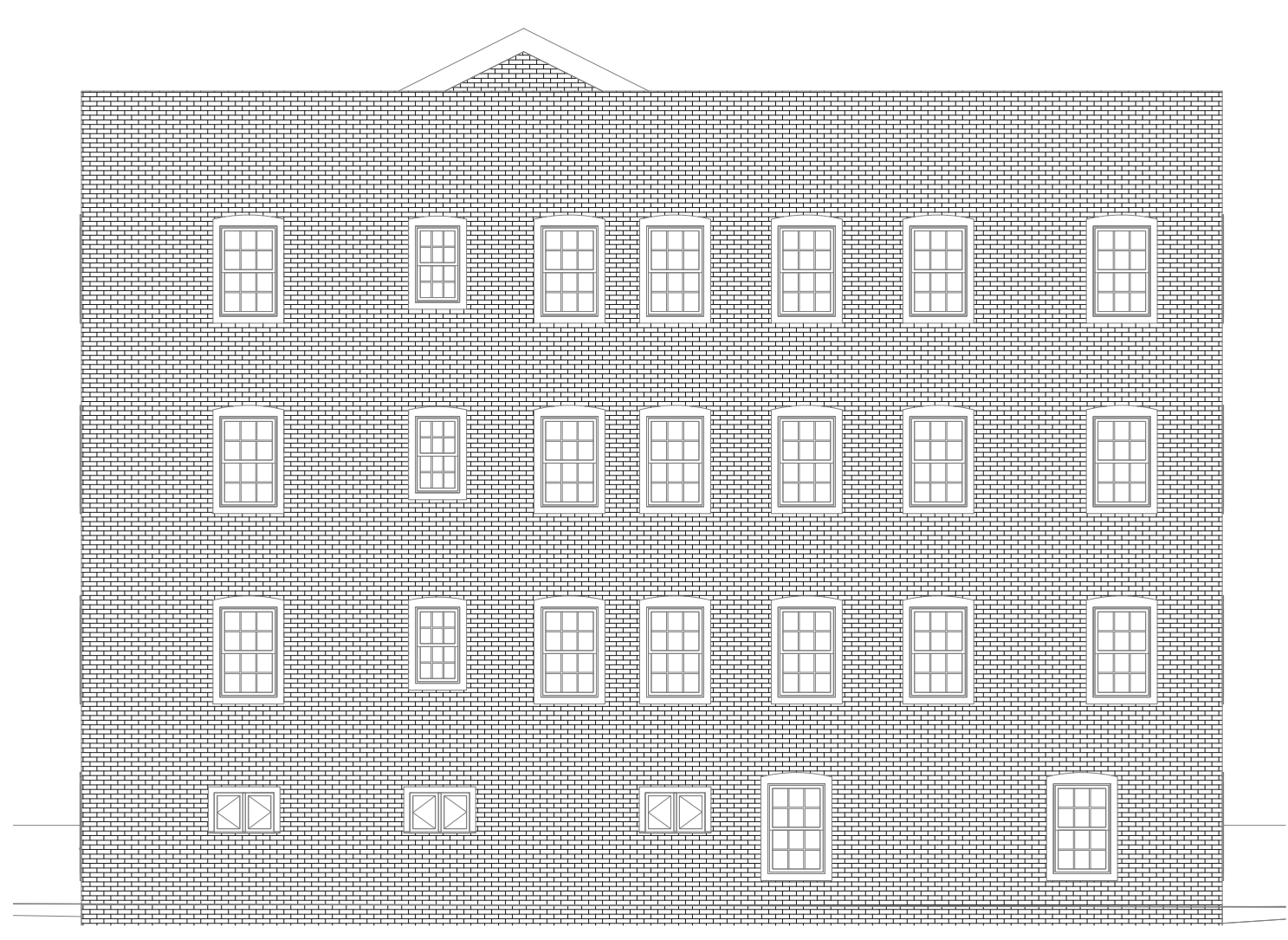
1. ALL DIMENSIONS REFER TO FINISHED SURFACES, U.N.O.
2. ALL DIMENSIONS AT DOORS AND WINDOWS REFER TO NOMINAL OPENINGS, U.N.O.
3. SEE A-___ FOR MATERIAL KEY.
4. SEE A-___ FOR WINDOW SCHEDULE AND ELEVATIONS.
5. ALL EXISTING WINDOWS AND DOORS ARE TO BE REPLACED WITH NEW, SEE WINDOW SCHEDULE FOR SIZE, CONFIGURATION AND HARDWARE SPECIFICATIONS.
6. GC SHALL VERIFY EXISTING OPENINGS AND FLOOR TO FLOOR HEIGHTS. REPORT VARIANCES FROM DOCUMENTS TO THE ARCHITECT.
7. FOR DOOR TAGS REFER TO FLOOR PLANS.

GENERAL NOTES: EXTERIOR ELEVATIONS

GENERAL NOTES: DEMOLITION

1. GC SHALL NOTIFY THE ARCHITECT OF ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DOCUMENTS OR POSES ANY HEALTH AND/OR LIFE-SAFETY HAZARDS.
2. GC SHALL MINIMIZE DAMAGE TO FINISHES ADJACENT TO DEMOLITION AREAS. GC SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES AFFECTED BY THEIR WORK.
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING COMPONENTS FOR DEMOLITION OF SUCH MATERIALS, EQUIPMENT & SYSTEMS.
4. DIMENSIONS ARE BASED ON FIELD SURVEYS BY ARCHITECT. ANY DISCREPANCIES IN DIMENSIONS THAT CONFLICT WITH DESIGN AS DRAWN MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
5. NOTIFY LANDLORD/OWNER IN WRITING 72 HOURS PRIOR TO COMMENCING WORK ON ANY PROJECT PHASE OR PERFORMING ANY WORK THAT WILL IN ANY WAY IMPACT THE LANDLORD/OWNER (SUCH AS CONSTRUCTION OF TEMPORARY BARRICADES, TEMPORARY UTILITY SHUT DOWNS). DO NOT PROCEED WITH SUCH WORK IF THE LANDLORD/OWNER DOES NOT GRANT PERMISSION. PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES AND PERMITS, NOT LIMITED TO THOSE REFERENCED HEREIN.
6. PRIOR TO PROCEEDING WITH DEMOLITION GC TO REVIEW HAZARDOUS MATERIALS TESTING REPORT. GC MUST NOTIFY LANDLORD/OWNER AND ARCHITECT WHEN HAZARDOUS MATERIALS NOT INCLUDED IN THE REPORT ARE DISCOVERED PRIOR TO PROCEEDING WITH REMOVAL ACCORDING TO FEDERAL, STATE AND LOCAL LAWS.
7. VERIFY EXTENT OF EXISTING CONSTRUCTION IN FIELD, IMMEDIATELY NOTIFY ARCHITECT OF ANY DISCREPANCIES.
8. GC IS RESPONSIBLE FOR PROTECTION OF THE EXPOSED BUILDING, INTERIOR MATERIALS AND FINISHES SUBJECT TO WEATHER: WATER AND MOISTURE, EXTREME TEMPERATURES DURING THE TERM OF THE CONSTRUCTION PERIOD. REFER TO SPECIFICATION SECTION 015000 TEMPORARY FACILITIES AND CONTROLS FOR SPECIFICS. GC IS RESPONSIBLE FOR THE MEANS OF A PROTECTION PLAN.
9. PRIOR TO STRUCTURAL MODIFICATIONS INDICATED HEREIN OR OTHERWISE, GC IS RESPONSIBLE FOR PROVIDING ENGINEERED MEANS FOR TEMPORARY SHORING.

GENERAL NOTES: DEMOLITION



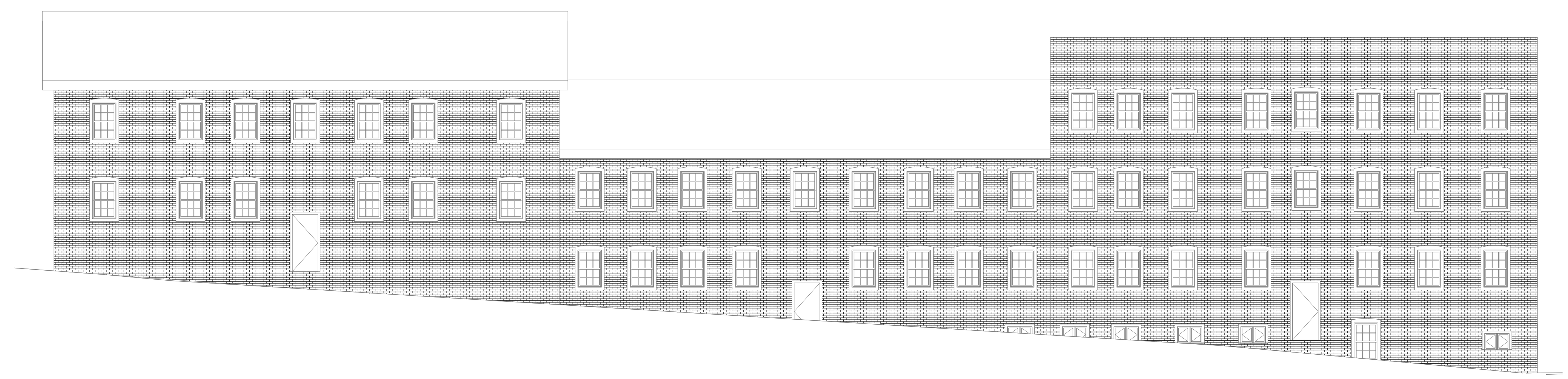
2 BUILDING IV - SW ELEVATION
 A-307 SCALE: 1/8" = 1'-0"

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ALL REQUIRED PERMITS SHALL BE ACQUIRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE + DESIGN, LLC. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

COPYRIGHT 2017 © ZAVOS ARCHITECTURE + DESIGN, LLC.

QUALITY CONTROL REVIEW

SD REVIEWER INITIALS	DATE
DD REVIEWER INITIALS	DATE
CD REVIEWER INITIALS	DATE



1 BUILDING IV - NW ELEVATION
 A-307 SCALE: 1/8" = 1'-0"

WHITEFIELD COMMONS

PROJECT ADDRESS:
 106 NORTH THOMAS STREET, ARLINGTON, VA 22203

SHEET NAME:
 ELEVATIONS - BUILDING IV

JOB NUMBER: 18204
 DRAWING NUMBER:

A-307
 323 WEST PATRICK ST.
 FREDERICK, MD 21701
 P.301.698.0020 F.301.698.0920
 www.za-d.com

ADDENDUM E
Utility Allowance



Virginia Housing Development Authority
Housing Choice Voucher Program

**Allowances for
Tenant-Furnished Utilities
and Other Services**

Family Name: _____ Unit Address: _____ _____ Voucher Size*: _____ Unit Bedroom Size*: _____ <i>*Use smaller size to calculate tenant-supplied utilities and appliances.</i>

		Unit Type: 1 Exposed Wall				Effective Date: 07/01/2019			
Utility	Usage	Monthly Dollar Amount							
		0 BR	1 BR	2BR	3BR	4BR	5 BR	6 BR	7BR
Appliance	Range/Microwave	\$2.00	\$2.00	\$2.00	\$2.00	\$2.00	\$2.00	\$2.00	\$2.00
	Refrigerator	\$3.00	\$3.00	\$3.00	\$3.00	\$3.00	\$3.00	\$3.00	\$3.00
Bottled Gas	Cooking	\$8.00	\$11.00	\$14.00	\$18.00	\$22.00	\$26.00	\$29.00	\$32.00
	Home Heating	\$46.00	\$64.00	\$82.00	\$100.00	\$127.00	\$146.00	\$164.00	\$182.00
	Water Heating	\$20.00	\$28.00	\$36.00	\$44.00	\$56.00	\$64.00	\$72.00	\$80.00
Electricity	Cooking	\$3.00	\$4.00	\$5.00	\$7.00	\$8.00	\$10.00	\$11.00	\$12.00
	Cooling (A/C)	\$5.00	\$7.00	\$9.00	\$11.00	\$14.00	\$16.00	\$18.00	\$20.00
	Home Heating	\$19.00	\$26.00	\$33.00	\$41.00	\$52.00	\$59.00	\$67.00	\$74.00
	Other Electric	\$11.00	\$15.00	\$20.00	\$24.00	\$31.00	\$35.00	\$40.00	\$44.00
	Water Heating	\$10.00	\$13.00	\$17.00	\$21.00	\$27.00	\$30.00	\$34.00	\$38.00
Natural Gas	Cooking	\$2.00	\$2.00	\$3.00	\$3.00	\$4.00	\$5.00	\$5.00	\$6.00
	Home Heating	\$9.00	\$12.00	\$15.00	\$19.00	\$24.00	\$27.00	\$31.00	\$34.00
	Water Heating	\$4.00	\$6.00	\$7.00	\$9.00	\$11.00	\$13.00	\$14.00	\$16.00
Oil	Home Heating	\$38.00	\$53.00	\$68.00	\$83.00	\$105.00	\$120.00	\$135.00	\$150.00
	Water Heating	\$16.00	\$22.00	\$29.00	\$35.00	\$45.00	\$51.00	\$58.00	\$64.00
Sewer	Other	\$20.00	\$27.00	\$35.00	\$43.00	\$55.00	\$62.00	\$70.00	\$78.00
Trash Collection	Other	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00	\$11.00
Water	Other	\$16.00	\$22.00	\$29.00	\$35.00	\$45.00	\$51.00	\$58.00	\$64.00
UTILITY ALLOWANCE TOTAL:		\$	\$	\$	\$	\$	\$	\$	\$

ADDENDUM F
Qualifications of Consultants

STATEMENT OF PROFESSIONAL QUALIFICATIONS

H. BLAIR KINCER, MAI, CRE

I. Education

Duquesne University, Pittsburgh, Pennsylvania
Masters in Business Administration
Graduated Summa Cum Laude

West Virginia University, Morgantown, West Virginia
Bachelor of Science in Business Administration
Graduated Magna Cum Laude

II. Licensing and Professional Affiliation

Member of the Appraisal Institute (MAI)
Member, The Counselors of Real Estate (CRE)
LEED Green Associate
Member, National Council of Housing Market Analysts (NCHMA)
Past Member Frostburg Housing Authority

Certified General Real Estate Appraiser, No. GA12288 – District of Columbia
Certified General Real Estate Appraiser, No CG1694 – State of Maine
Certified General Real Estate Appraiser, No. 1326 – State of Maryland
Certified General Real Estate Appraiser, No. 103789 – State of Massachusetts
Certified General Real Estate Appraiser, No. 46000039124 – State of New York
Certified General Real Estate Appraiser, No. A6765 – State of North Carolina
Certified General Real Estate Appraiser, No. GA001407L – Commonwealth of Pennsylvania
Certified General Real Estate Appraiser, No. 5930 – State of South Carolina
Certified General Real Estate Appraiser, No. 3918 – State of Tennessee
Certified General Real Estate Appraiser, No. 4001004822 – Commonwealth of Virginia

III. Professional Experience

Partner, Novogradac & Company LLP
Vice President/Owner, Capital Realty Advisors, Inc.
Vice President - Acquisitions, The Community Partners Development Group, LLC
Commercial Loan Officer/Work-Out Specialist, First Federal Savings Bank of Western MD
Manager - Real Estate Valuation Services, Ernst & Young LLP
Senior Associate, Joseph J. Blake and Associates, Inc.
Senior Appraiser, Chevy Chase, F.S.B.
Senior Consultant, Pannell Kerr Forster

IV. Professional Training

Have presented at and attended various industry conferences regarding the HTC, RETC, NMTC and LIHTC and various market analysis and valuation issues.

Obtained the MAI designation in 1998, maintaining continuing education requirements since. Registered as completing additional professional development programs administered by the Appraisal Institute in the following topic areas:

- 1) Valuation of the Components of a Business Enterprise
- 2) Valuation of Sustainable Buildings: Commercial
- 3) Valuation of Sustainable Buildings: Residential

V. Real Estate Assignments – Examples

In general, have managed and conducted numerous market analyses and appraisals for all types of commercial real estate since 1988.

- Performed numerous appraisals for the US Army Corps of Engineers US Geological Survey and the GSA. Property types included Office, Hotel, Residential, Land, Gymnasium, warehouse space, border patrol office. Properties located in varied locations such as the Washington, DC area, Yuma, AZ, Moscow, ID, Blaine, WA, Lakewood, CO, Seattle, WA
- Performed appraisals of commercial properties such as hotels, retail strip centers, grocery stores, shopping centers etc for properties in various locations throughout Pennsylvania, New Jersey, Maryland, New York for Holiday, Fenoglio, Fowler, LP and Three Rivers Bank.
- Have managed and conducted numerous market and feasibility studies for affordable housing. Properties are generally Section 42 Low Income Housing Tax Credit Properties. Local housing authorities, developers, syndicators and lenders have used these studies to assist in the financial underwriting and design of LIHTC properties. Analysis typically includes; unit mix determination, demand projections, rental rate analysis, competitive property surveying and overall market analysis. An area of special concentration has been the category of Senior Independent living properties. Work has been national in scope.
- Provided appraisal and market studies for a large portfolio of properties located throughout the United States. The reports provided included a variety of property types including vacant land, office buildings, multifamily rental properties, gas stations, hotels, retail buildings, industrial and warehouse space, country clubs and golf courses, etc. The portfolio included more than 150 assets and the work was performed for the SBA through Metec Asset Management LLP.
- Have managed and conducted numerous appraisals of affordable housing (primarily LIHTC developments). Appraisal assignments typically involved determining the as is, as if complete and the as if complete and stabilized values. Additionally, encumbered

(LIHTC) and unencumbered values were typically derived. The three traditional approaches to value are developed with special methodologies included to value tax credit equity, below market financing and Pilot agreements.

- Performed numerous appraisals in 17 states of proposed new construction and existing properties under the HUD Multifamily Accelerated Processing program. These appraisals meet the requirements outlined in HUD Handbook 4465.1 and Chapter 7 of the HUD MAP Guide.
- Performed numerous market study/appraisals assignments for USDA RD properties in several states in conjunction with acquisition rehabilitation redevelopments. Documents are used by states, FannieMae, USDA and the developer in the underwriting process. Market studies are compliant to State, FannieMae and USDA requirements. Appraisals are compliant to FannieMae and USDA HB-1-3560 Chapter 7 and Attachments.
- Completed numerous FannieMae appraisals of affordable and market rate multi-family properties for Fannie DUS Lenders. Currently have ongoing assignment relationships with several DUS Lenders.
- In accordance with HUD's Section 8 Renewal Policy and Chapter 9, Mr. Kincer has completed numerous Rent Comparability Studies for various property owners and local housing authorities. The properties were typically undergoing recertification under HUD's Mark to Market Program.
- Completed Fair Market Value analyses for solar panel installations, wind turbine installations, and other renewable energy assets in connection with financing and structuring analyses performed by various clients. The clients include lenders, investors, and developers. The reports are used by clients and their advisors to evaluate certain tax consequences applicable to ownership. Additionally, the reports have been used in the ITC funding process and in connection with the application for the federal grant identified as Section 1603 American Recovery & Reinvestment Act of 2009.

STATEMENT OF PROFESSIONAL QUALIFICATIONS

DAVID BOISTURE, AM, CRE

I. Education

Ohio University, Athens, Ohio
Masters of Public Administration

Frostburg State University, Frostburg, Maryland
Bachelor of Science in Political Science and Justice Studies

II. Professional Experience

Partner, Novogradac & Company LLP
Graduate Assistant, Institute for Local Government and Rural Development

III. Professional Affiliation

Accredited Member of the American Society of Appraisers (AM)
Member, The Counselors of Real Estate (CRE)
Designated Member of the National Council of Housing Market Analysts (NCHMA)
LEED Green Associate

IV. Professional Training

Machinery and Equipment Valuation – Advanced Topics and Report Writing, January 2017
Machinery and Equipment Advanced Topics and Case Studies, November 2016
Machinery and Equipment Valuation Methodology, September 2016
Introduction to Machinery and Equipment Valuation, May 2016
IRS Valuation Summit, October 2014
Basic Appraisal Procedures, March 2014
15-hour National USPAP Equivalent, March 2014
Valuation of Solar Photovoltaic, February 2014
Residential Solar Photovoltaic Leases: Market Value Dilemma, February 2014
Basic Appraisal Principles, February 2014
Wind Projects and Land Value, October 2012

V. Real Estate Assignments

A representative sample of Due Diligence, Consulting, or Valuation Engagements includes:

- Completed Fair Market Value analyses for solar panel installations, wind turbine installations, and other renewable energy assets in connection with financing and structuring analyses performed by various clients. The clients include lenders, investors, owners, and developers. The reports are used by clients and their advisors to evaluate certain tax consequences applicable to ownership. Additionally, the reports have been used in the ITC funding process and in connection with the application for the federal grant identified as Section 1603 American Recovery & Reinvestment Act of 2009. The valuations have been completed assuming completion of the assets, as is, and at various stages of development.

- Have managed and prepared market studies for proposed Low-Income Housing Tax Credit, market rate, HOME financed, USDA Rural Development, and HUD subsidized properties, on a national basis. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, large family, and acquisition with rehabilitation.
- Have managed and assisted in appraisals of proposed new construction, rehabilitation, and existing Low- Income Housing Tax Credit properties, USDA Rural Development, HUD subsidized properties, and market rate multifamily developments. Analysis includes property screenings, valuation analysis, rent comparability studies, expense comparability analysis, determination of market rents, and general market analysis.
- Assisted in preparing a comprehensive senior housing study in Seattle, Washington for the Seattle Housing Authority. This study evaluated the Seattle Housing Authority's affordable senior housing project for their position within the entire city's senior housing market. The research involved analysis of the senior population by neighborhood, income, household size, racial composition, and tenure.
- Have managed and assisted in the preparation of Rent Comparability Studies according the HUD Section 8 Renewal Policy in the Chapter 9 guidelines.
- Assisted in the review of Rent Comparability Studies for HUD Contract Administrators.
- Assisted in the HUD MAP Quality Control market study and appraisal reviews.
- Managed and assisted in the preparation of market studies for projects under the HUD Multifamily Accelerated Processing program. The market studies meet the requirements outlined in Chapter 7 of the HUD MAP Guide.
- Managed and assisted in appraisals of proposed new construction and existing properties under the HUD Multifamily Accelerated Processing program. The appraisals meet the requirements outlined in Chapter 7 of the HUD MAP Guide.
- Assisted in preparing an approved HUD Consolidated Plan for the City of Gainesville, GA; which included a housing and homeless needs assessment, market analysis, non-housing needs analysis, and a strategic plan, which conformed to 24CFR Part 91, Consolidated Plan Regulations for the ensuing five-year period (2004-2009).
- Assisted in various appraisals for the US Army Corps of Engineers including Walter Reed Army Medical Center, proposed office site on the Enhanced Use Lease sites Y and Z at Fort Meade, proposed automobile testing facility at the Yuma Proving Grounds, proposed industrial park at Camp Navajo, and the National Geospatial-Intelligence Agency.
- Managed the preparation of Site Inspection Reports and Appraisals as the subcontractor to the Transaction Team Specialist hired by the Department of Housing and Urban Development to facilitate the design and sale of HUD's nonperforming Multifamily and Healthcare notes.

- Completed analyses of overall reasonableness with regard to Revenue Procedure 2014-12. Transactions analyzed include renewable energy projects involving the use of Investment Tax Credits. Fees and arrangements tested for reasonableness include developer fees, construction management fees, asset management fees, various leasing-related payments, and overall master lease terms.

**STATEMENT OF PROFESSIONAL QUALIFICATIONS
KELLY MCNANY GORMAN**

I. Education

Virginia Tech, Blacksburg, VA
Bachelor of Arts in Urban Affairs and Planning

II. Professional Experience

Principal, Novogradac & Company LLP
Manager, Novogradac & Company LLP
Asset Manager, Housing Opportunities Commission of Montgomery County, MD
Senior Real Estate Analyst, Novogradac & Company LLP
Acquisitions Associate, Kaufman & Broad Multi-Housing Group, Inc. (KBMH)

III. Certifications, Professional Training and Continuing Education

Licensed Certified General Appraiser, CT License #RCG.0001437
Licensed Certified General Appraiser, NJ License #42RG00245500
Licensed Certified General Appraiser, NY License #46000051239
Licensed Certified General Appraiser, PA License #GA004390

Attended and presented at tax credit application training sessions and seminars, valuation of GP Interest sessions, numerous conferences and classes in real estate valuation, finance, asset management and affordable housing development using tax credits and tax exempt financing.

IV. Real Estate Assignments – Examples

A representative sample of Asset Management, Market Study, Due Diligence and Valuation Engagements includes the following:

- Managed and conducted valuations of General Partnership or Limited Partnership Interests for LIHTC properties.
- Managed and conducted market studies and appraisals of various LIHTC, affordable and market rate properties for numerous clients. The subjects include both new construction and rehabilitation properties in both rural and metro regions throughout the United States. Market analysis included; preliminary property screening, market analysis, comparable rent surveys, operating expense and demand analysis. Appraisals included various value scenarios including hypothetical land value as if vacant, insurable value, value of LIHTC, abatements and PILOTs, below market debt, ground leases, value of historic credits, etc. Work has been national in scope.
- Reviewed appraisals and market studies for various state agencies for LIHTC application. Market studies were reviewed for adherence to NCHMA, state guidelines and overall reasonableness. Appraisals reviewed for adherence to USPAP, state guidelines, reasonableness.

- Provided appraisals and market studies for a variety of properties types located throughout the United States. The reports provided included a variety of property types including vacant land, multifamily rental properties, retail buildings, etc.
- Managed a portfolio of ten multifamily properties with a total of over 2,000 units. Portfolio a range of property types including an historic property, garden style, luxury high rise, two senior independent living and one assisted living facility. Responsible for the management, oversight, financial analysis and financial reporting. Coordinated the preparation of property operating budgets, capital budgets and long range plans. Monitored compliance with regulations, policies and procedures. Completed special property management projects consisting of research and reporting. Analyzed property management financial statements and multifamily rental markets surveys.
- Managed and assisted in the preparation of Rent Comparability Studies according the HUD Section 8 Renewal Policy in the Chapter 9 guidelines. Engagements included site visits to the subject property, interviewing and inspecting potentially comparable properties, and the analyses of collected data including adjustments to comparable data to determine appropriate adjusted market rents using HUD form 92273.
- Performed a variety of asset management services for a lender including monitoring and reporting property performance on a monthly basis. Data points monitored include economic vacancy, levels of concessions, income and operating expense levels, NOI and status of capital projects. Data used to determine these effects on the project's ability to meet its income-dependent obligations. Recommendations included a workout for one of the 16 assets.
- Performed asset management services for lenders and syndicators on underperforming assets to identify significant issues facing the property and recommend solutions. Scope of work included analysis of property condition and deferred maintenance, security issues, signage, marketing strategy and staffing plan. Performed a physical inspection of the assets, to include interior and exterior of property and assess how the property compares to competition. Analyzed operating expense results.

NMTC Consulting Assignments

Performed investment due diligence for a variety of NMTC transactions.

- Performed loan consulting engagements in which GoVal provided opinions regarding whether third party lenders would reasonably lend to NMTC projects based upon deal structure and likelihood of repayment. These engagements involved the analysis of sources of collateral, sources of repayment and reviewing transaction documents, surveying lenders and examining the deal structure.
- Oversaw an analysis of NMTC activity analyzing sizing and recommending strategies for a NMTC investor. Engagement consisted of compilation of NMTC award data from CDFI by location, CDE type, year, award amount and conduct interviews with market participants to better understand investment objectives and competitor activity.

STATEMENT OF PROFESSIONAL QUALIFICATIONS

LAUREN MIGLIORE

I. Education

Edward J. Bloustein School of Planning and Public Policy at Rutgers University -
New Brunswick, NJ
Master of City and Regional Planning

Rutgers, The State University of New Jersey - New Brunswick, NJ
Bachelor of Arts in Planning and Public Policy

II. Professional Experience

Senior Analyst, *Novogradac & Company LLP* – December 2019 – Present
Analyst, *Novogradac & Company LLP* – December 2017 – December 2019
Junior Analyst, *Novogradac & Company LLP* – June 2016 – December 2017
Director of Outreach and Development, *New Jersey Future* – December 2014 – June 2016
Asset Manager, *Build with Purpose* – August 2009 – March 2014

III. Research Assignments

A representative sample of work on various types of projects:

- Conducted numerous market and feasibility studies for proposed and existing Low-Income Housing Tax Credit (LIHTC), HUD subsidized, and market rate properties for use by real estate developers, governmental entities, and financial institutions. Analysis includes property screenings, market analysis, comparable rent surveys, demand analysis based on the number of income qualified renters in each market, supply analysis, and operating expenses analysis. Property types include proposed multifamily, senior independent living, large family, and acquisition with rehabilitation.
- Assisted in appraisals of proposed new construction, rehabilitation, and existing LIHTC and market rate multifamily properties. Analysis includes property screenings, expense comparability analysis, demographic and economic analysis.
- Performed all aspects of data collection and data mining for use in market studies, feasibility studies, and appraisals.
- Reviewed appraisals and market studies for various state agencies for LIHTC application. Market studies were reviewed for adherence to NCHMA, state guidelines and overall reasonableness. Appraisals reviewed for adherence to USPAP, state guidelines, reasonableness.
- Conducted valuations of General Partnership or Limited Partnership Interests for LIHTC properties.
- Conducted market studies for retail and commercial properties utilized for underwriting purposes.

ADDENDUM G
NCHMA Certification and Checklist



Formerly known as
National Council of Affordable
Housing Market Analysts

NCHMA MEMBER CERTIFICATION

This market study has been prepared by **Novogradac Consulting LLP**, a member in good standing of the National Council of Housing Market Analysts (NCHMA). This study has been prepared in conformance with the standards adopted by NCHMA for the market analysts' industry. These standards include the *Standard Definitions of Key Terms Used in Market Studies*, and *Model Content Standards for the Content of Market Studies*. These Standards are designed to enhance the quality of market studies and to make them easier to prepare, understand, and use by market analysts and by the end users. These Standards are voluntary only, and no legal responsibility regarding their use is assumed by the National Council of Housing Market Analysts.

Novogradac Consulting LLP is duly qualified and experienced in providing market analysis for Affordable Housing. The company's principals participate in the National Council of Housing Market Analysts (NCHMA) educational and information sharing programs to maintain the highest professional standards and state-of-the-art knowledge. **Novogradac Consulting LLP** is an independent market analyst. No principal or employee of **Novogradac Consulting LLP** has any financial interest whatsoever in the development for which this analysis has been undertaken.

Lauren Migliore
Real Estate Analyst

NCHMA Market Study Index

Introduction: Members of the National Council of Housing Market Analysts provide the following checklist referencing various components necessary to conduct a comprehensive market study for rental housing. By completing the following checklist, the NCHMA Analyst certifies that he or she has performed all necessary work to support the conclusions included within the comprehensive market study. By completion of this checklist, the analyst asserts that he/she has completed all required items per section.

		Section(s)
Executive Summary		
1	Executive Summary	A
Scope of Work		
2	Scope of Work	Transmittal
Project Description		
3	Unit mix including bedrooms, bathrooms, square footage, rents, and income targeting	C
4	Utilities (and utility sources) included in rent	C
5	Target market/population description	C
6	Project description including unit features and community amenities	C
7	Date of construction/preliminary completion	C
8	If rehabilitation, scope of work, existing rents, and existing vacancies	C
Location		
9	Concise description of the site and adjacent parcels	D
10	Site photos/maps	D
11	Map of community services	D
12	Site evaluation/neighborhood including visibility, accessibility, and crime	D
Market Area		
13	PMA description	E
14	PMA Map	E
Employment and Economy		
15	At-Place employment trends	F
16	Employment by sector	F
17	Unemployment rates	F
18	Area major employers/employment centers and proximity to site	F
19	Recent or planned employment expansions/reductions	F
Demographic Characteristics		
20	Population and household estimates and projections	G
21	Area building permits	H
22	Population and household characteristics including income, tenure, and size	G
23	For senior or special needs projects, provide data specific to target market	N/A
Competitive Environment		
24	Comparable property profiles and photos	Addenda
25	Map of comparable properties	H
26	Existing rental housing evaluation including vacancy and rents	H
27	Comparison of subject property to comparable properties	H
28	Discussion of availability and cost of other affordable housing options including homeownership, if applicable	H
29	Rental communities under construction, approved, or proposed	H
30	For senior or special needs populations, provide data specific to target market	N/A

NCHMA Market Study Index

Introduction: Members of the National Council of Housing Market Analysts provide the following checklist referencing various components necessary to conduct a comprehensive market study for rental housing. By completing the following checklist, the NCHMA Analyst certifies that he or she has performed all necessary work to support the conclusions included within the comprehensive market study. By completion of this checklist, the analyst asserts that he/she has completed all required items per section.

		Section(s)
Affordability, Demand, and Penetration Rate Analysis		
31	Estimate of demand	I
32	Affordability analysis with capture rate	I
33	Penetration rate analysis with capture rate	I
Analysis/Conclusions		
34	Absorption rate and estimated stabilized occupancy for subject	K
35	Evaluation of proposed rent levels including estimate of market/achievable rents.	H
36	Precise statement of key conclusions	K
37	Market strengths and weaknesses impacting project	K
38	Product recommendations and/or suggested modifications to subject	K
39	Discussion of subject property's impact on existing housing	K
40	Discussion of risks or other mitigating circumstances impacting subject	I
41	Interviews with area housing stakeholders	J
Other Requirements		
42	Certifications	L
43	Statement of qualifications	Addenda
44	Sources of data not otherwise identified	N/A

Certificate of Professional Designation

This certificate verifies that

David Boisture
Novogradac & Company LLP

*Has completed NCHMA's Professional Designation Requirements
and is hence an approved member in good standing of:*



Formerly known as
NCAHMA

National Council of Housing Market Analysts
1400 16th St. NW
Suite 420
Washington, DC 20036
202-939-1750

Membership Term
1/1/2020 to 12/31/2020



A handwritten signature in black ink, appearing to read "Thomas Amdur".

Thomas Amdur
President, NCHMA